



KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KMARCHITECTSINC.COM
760-814-8128

ALL IDEAS, DESIGNS AND DIRECTION INDICATED WITHIN THESE DRAWINGS ARE THE PROPERTY OF KIRK MOELLER ARCHITECTS, INC. AND ARE INTENDED TO BE ASSOCIATED WITH THIS SPECIFIC PROJECT ONLY AND SHALL NOT OTHERWISE BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF THE KIRK MOELLER ARCHITECTS, INC. THERE SHALL BE NO CHANGES OR DEVIATIONS FROM THESE DRAWINGS OR ACCOMPANYING SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

217 S MYERS BEACH HOMES

RESIDENTIAL DEVELOPMENT

217 S MYERS STREET

OCEANSIDE, CALIFORNIA

VICINITY MAP	CODES 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA EXISTING BUILDING CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE	DEVELOPMENT ANALYSIS LOT AREA: EXISTING RESIDENTIAL LOTS: LOT 5 = 5,000 SQ. FT. / 0.11 AC. RESIDENTIAL UNITS: EXISTING (TO BE REMOVED): PROPOSED: 1 UNITS 5 UNITS DWELLING UNIT DENSITY: 1 UNIT / 1,000 SF LAND AREA MAXIMUM 1 UNIT / 1,250 SF LAND AREA PROPOSED LOT COVERAGE: LOT COVERAGE: LOT 5 = 3,252 SF / 5,000 = 65% BUILDING AREAS: BUILDING TYPE A (UNITS 1 - 2, 5): UNIT 1 1ST FLOOR: CONDITIONED AREA: GARAGE (DETACHED, LOCATED IN BUILDING B): STORAGE (ATTACHED): OVERHANGING ELEMENTS: 143 S.F. 238 S.F. 94 S.F. 101 S.F. 2ND FLOOR: CONDITIONED AREA: DECK AREA: 727 S.F. 53 S.F. 3RD FLOOR: CONDITIONED AREA: 756 S.F. ROOF DECK: DECK RECREATION AREA: MECHANICAL DECK AREA: 449 S.F. 257 S.F. TOTAL UNIT FLOOR AREA (CONDITIONED): 1,626 S.F. UNIT 2 1ST FLOOR: CONDITIONED AREA: GARAGE (DETACHED, LOCATED IN BUILDING B): STORAGE (ATTACHED): OVERHANGING ELEMENTS: 322 S.F. 238 S.F. 74 S.F. 101 S.F. 2ND FLOOR: CONDITIONED AREA: DECK AREA: 727 S.F. 53 S.F. 3RD FLOOR: CONDITIONED AREA: 756 S.F. ROOF DECK: DECK RECREATION AREA: MECHANICAL DECK AREA: 449 S.F. 257 S.F. TOTAL UNIT FLOOR AREA (CONDITIONED): 1,805 S.F. UNIT 5 1ST FLOOR: CONDITIONED AREA: GARAGE (DETACHED, LOCATED IN BUILDING B): STORAGE (ATTACHED): OVERHANGING ELEMENTS: 660 S.F. 38 S.F. 34 S.F. TOTAL UNIT FLOOR AREA (CONDITIONED): 660 S.F. TOTAL BUILDING FLOOR AREA (CONDITIONED): TOTAL BUILDING FOOTPRINT AREA (INCLUDING STORAGE, NOT INCLUDING DETACHED GARAGE): TOTAL BLDG. COVERAGE (INCLUDING OVERHANGS): 4,091 S.F. 1,331 S.F. 1,533 S.F. BUILDING TYPE B (UNITS 3 - 4): UNITS 3 - 4 1ST FLOOR: CONDITIONED AREA: GARAGE (ATTACHED FOR UNITS 3-4): GARAGE (FOR UNITS 1-4 BUT WITHIN BUILDING B FOOTPRINT): OVERHANGING ELEMENTS: 317 S.F. 257 S.F. 238 S.F. 34 S.F. 2ND FLOOR: CONDITIONED AREA: DECK AREA: 759 S.F. 65 S.F. 3RD FLOOR: CONDITIONED AREA: 845 S.F. ROOF DECK: DECK RECREATION AREA: MECHANICAL DECK AREA: 539 S.F. 305 S.F. TOTAL UNIT FLOOR AREA (CONDITIONED): 1,921 S.F. TOTAL BUILDING FLOOR AREA (CONDITIONED): TOTAL BUILDING FOOTPRINT AREA (INCLUDING ATTACHED GARAGES FOR UNITS 3-4 AND GARAGES FOR UNITS 1-4): TOTAL BLDG. COVERAGE (INCLUDING OVERHANGS): 3,842 S.F. 1,624 S.F. 1,692 S.F.
-------------------------	---	---

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

Date:	10-31-2024
Project:	217 S MYERS
File:	A0.1
Revisions:	
△	PLAN CHECK #1 3-25-25
△	PLAN CHECK #2 5-21-25
△	PLAN CHECK #3 6-26-25
△	PLAN CHECK #4 11-12-25
△	PLAN CHECK #5 12-24-25

Sheet Title:
COVER SHEET

Sheet Number:

A0.1



KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KIMARCHITECTSINC.COM
760-814-8128

ALL IDEAS, DESIGNS AND DIRECTION INDICATED WITHIN THESE DRAWINGS ARE THE PROPERTY OF KIRK MOELLER ARCHITECTS, INC. AND ARE INTENDED TO BE ASSOCIATED WITH THIS SPECIFIC PROJECT ONLY AND SHALL NOT OTHERWISE BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF THE KIRK MOELLER ARCHITECTS, INC. THERE SHALL BE NO CHANGES OR DEVIATIONS FROM THESE DRAWINGS OR ACCOMPANYING SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

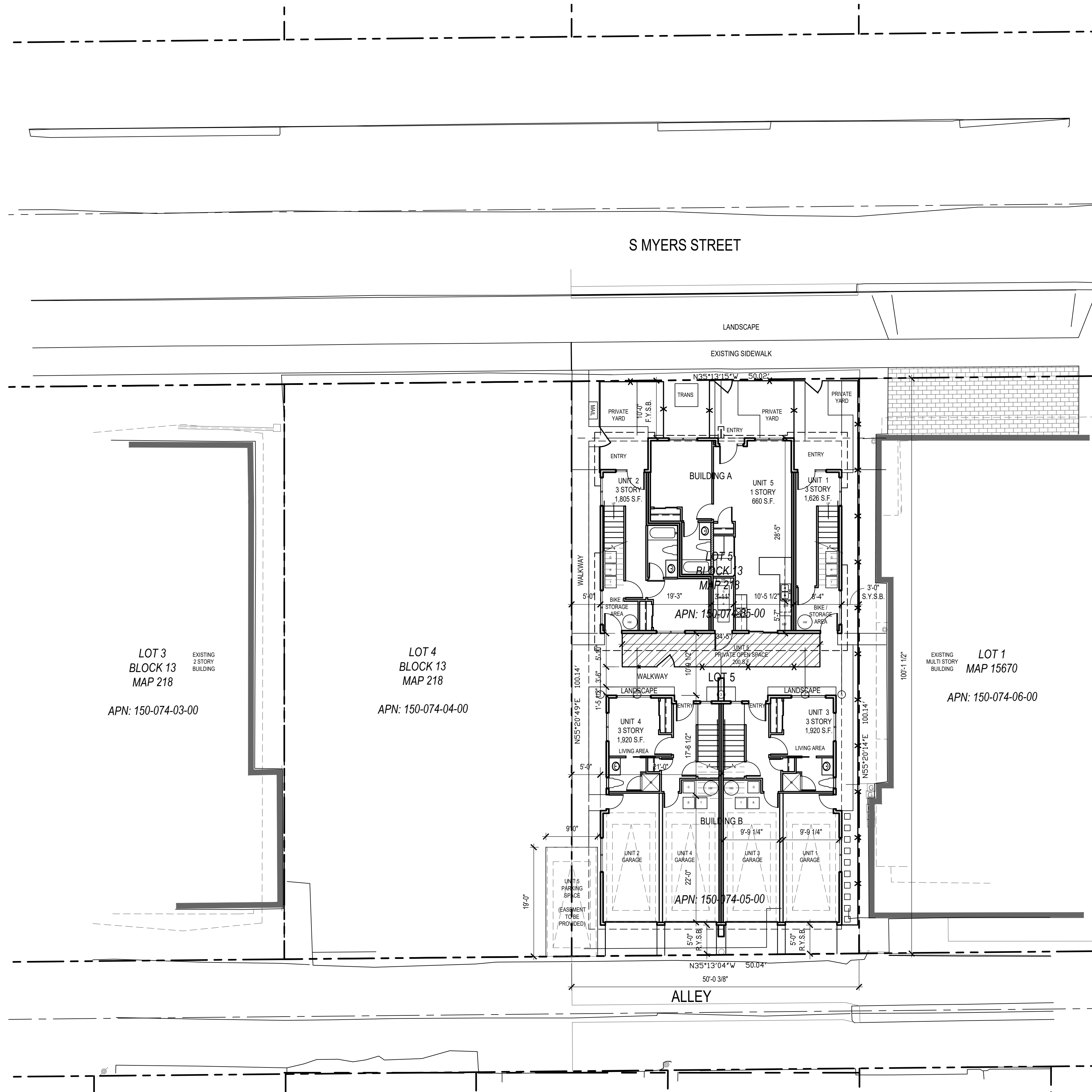
217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

Date:	10-31-2024
Project:	217 S MYERS
File:	A1.1
Revisions:	
△	PLAN CHECK #1 3-25-25
△	PLAN CHECK #2 5-21-25
△	PLAN CHECK #3 6-26-25
△	PLAN CHECK #4 11-12-25
△	PLAN CHECK #5 12-24-25

Sheet Title:
LOT 5
SITE PLAN

Sheet Number:

A1.1



NOTE: REFER TO CIVIL PLANS, SHEETS 1-5, FOR ALL APPROPRIATE SURVEY-RELATED INFORMATION.

LOT 5 SITE PLAN



KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KIMARCHITECTSINC.COM
760-614-8128

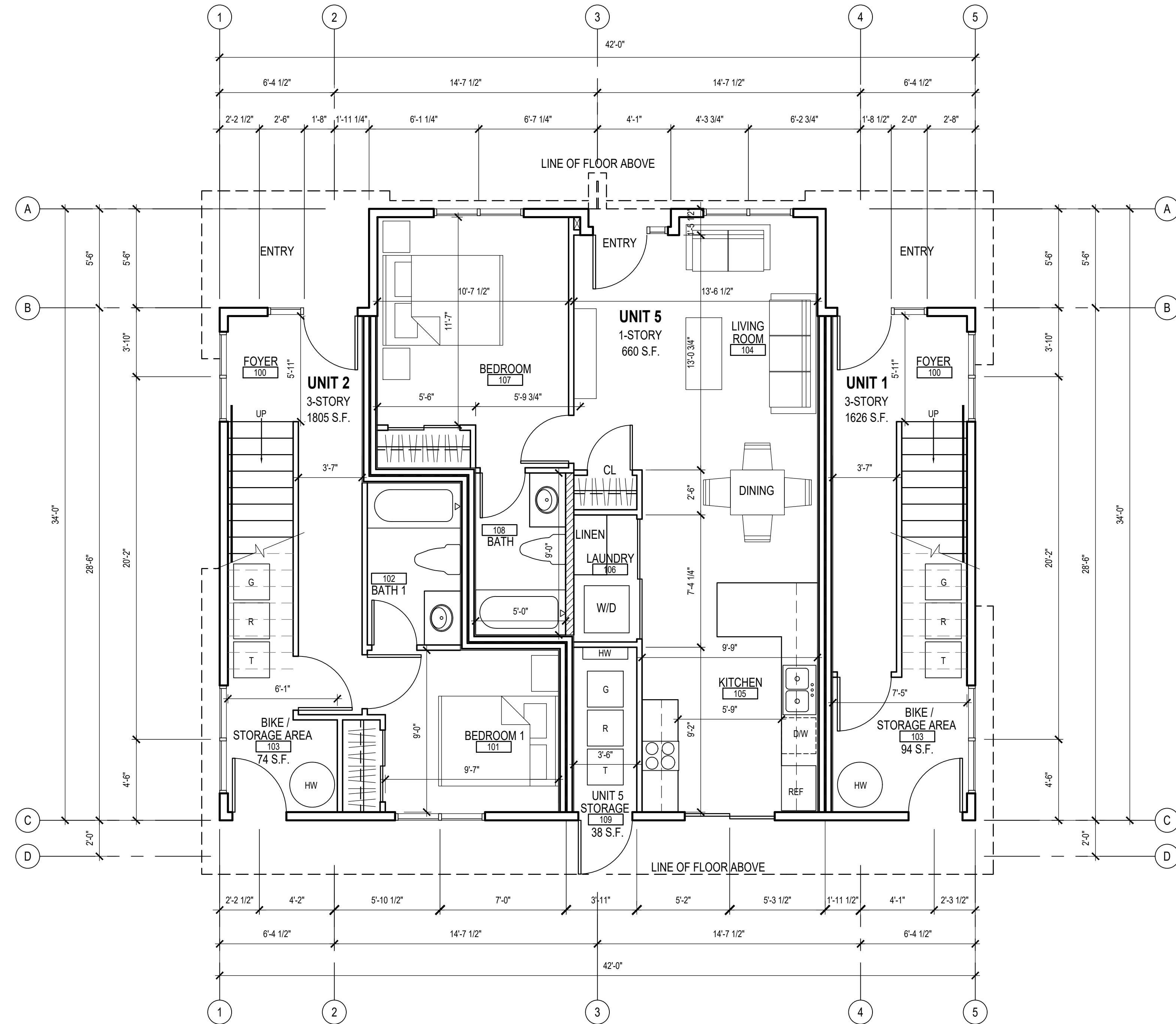
ALL IDEAS, DESIGNS AND
DIRECTION INDICATED WITHIN
THESE DRAWINGS ARE THE
PROPERTY OF KIRK MOELLER
ARCHITECTS, INC. AND ARE
INTENDED TO BE ASSOCIATED
WITH THIS SPECIFIC PROJECT
ONLY AND SHALL NOT
OTHERWISE BE USED FOR ANY
PURPOSE WHATSOEVER WITHOUT
THE WRITTEN CONSENT OF THE
KIRK MOELLER ARCHITECTS, INC.
THERE SHALL BE NO CHANGES
OR DEVIATIONS FROM THESE
DRAWINGS OR ACCOMPANYING
SPECIFICATIONS WITHOUT THE
WRITTEN CONSENT OF THE
ARCHITECT.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

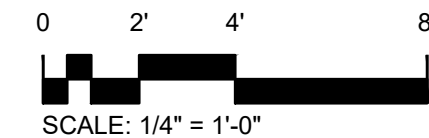
Date:	10-31-2024
Project:	217 S MYERS
File:	A2.1A
Revisions:	
△	PLAN CHECK #1 3-25-25
△	PLAN CHECK #2 5-21-25
△	PLAN CHECK #3 6-26-25
△	PLAN CHECK #4 11-12-25
△	PLAN CHECK #5 12-24-25

Sheet Title:
**BUILDING A
FIRST
FLOOR PLAN**

Sheet Number:
A2.1A



BUILDING A FIRST FLOOR PLAN





KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KMARCHITECTSINC.COM
760-814-8128

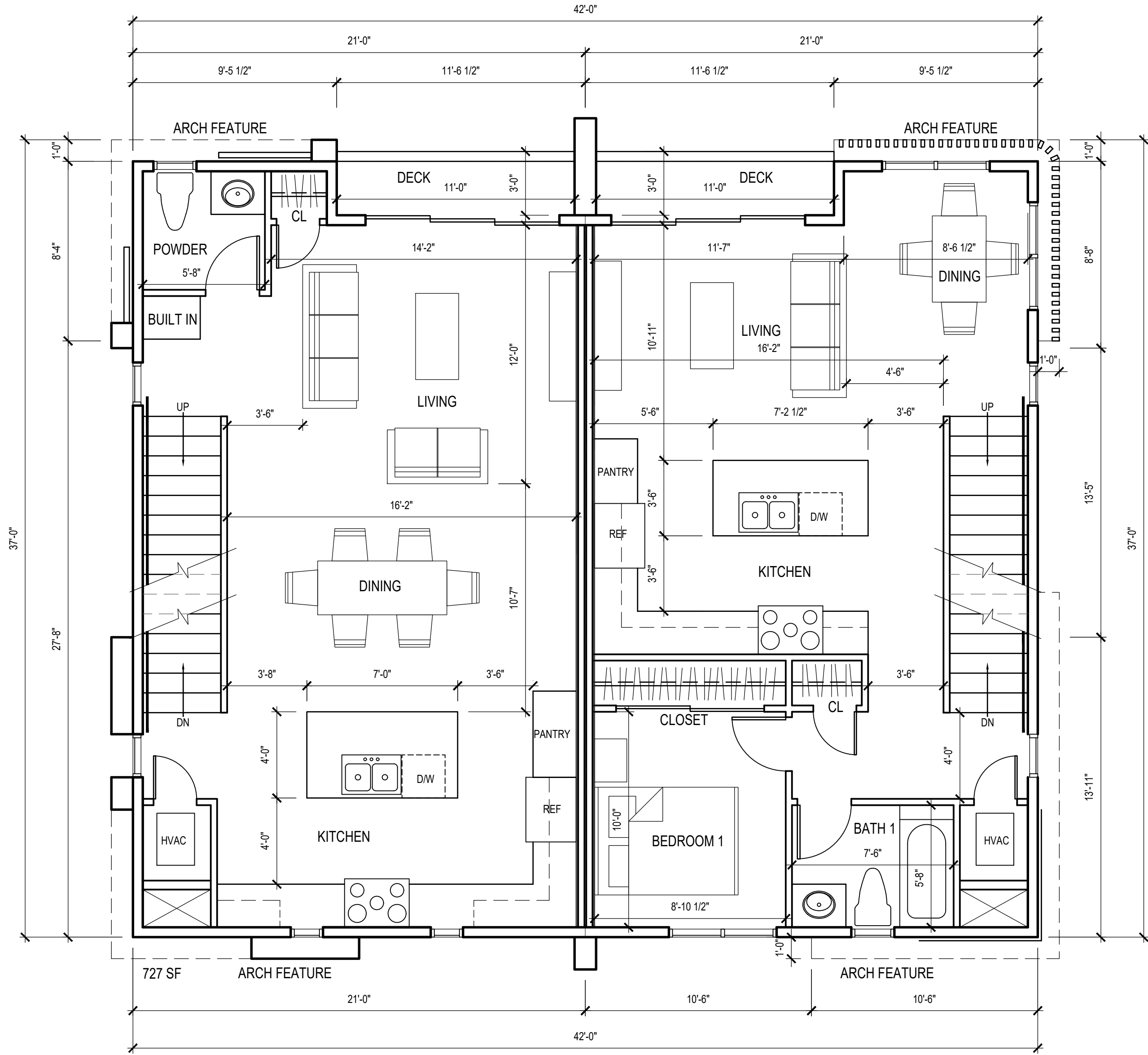
ALL IDEAS, DESIGNS AND
DIRECTION INDICATED WITHIN
THESE DRAWINGS ARE THE
PROPERTY OF KIRK MOELLER
ARCHITECTS, INC. AND ARE
INTENDED TO BE ASSOCIATED
WITH THIS SPECIFIC PROJECT
ONLY AND SHALL NOT
OTHERWISE BE USED FOR ANY
PURPOSE WHATSOEVER WITHOUT
THE WRITTEN CONSENT OF THE
KIRK MOELLER ARCHITECTS, INC.
THERE SHALL BE NO CHANGES
OR DEVIATIONS FROM THESE
DRAWINGS OR ACCOMPANYING
SPECIFICATIONS WITHOUT THE
WRITTEN CONSENT OF THE
ARCHITECT.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

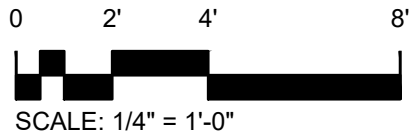
Date:	10-31-2024
Project:	217 S MYERS
File:	A2.2A
Revisions:	
△	PLAN CHECK #1 3-25-25
△	PLAN CHECK #2 5-21-25
△	PLAN CHECK #3 6-26-25
△	PLAN CHECK #4 11-12-25
△	PLAN CHECK #5 12-24-25

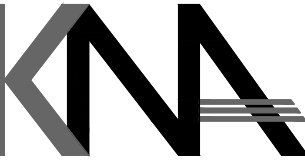
Sheet Title:
**BUILDING A
SECOND
FLOOR PLAN**

Sheet Number:
A2.2A



BUILDING A SECOND FLOOR PLAN





KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KIMARCHITECTSINC.COM
760-814-8128

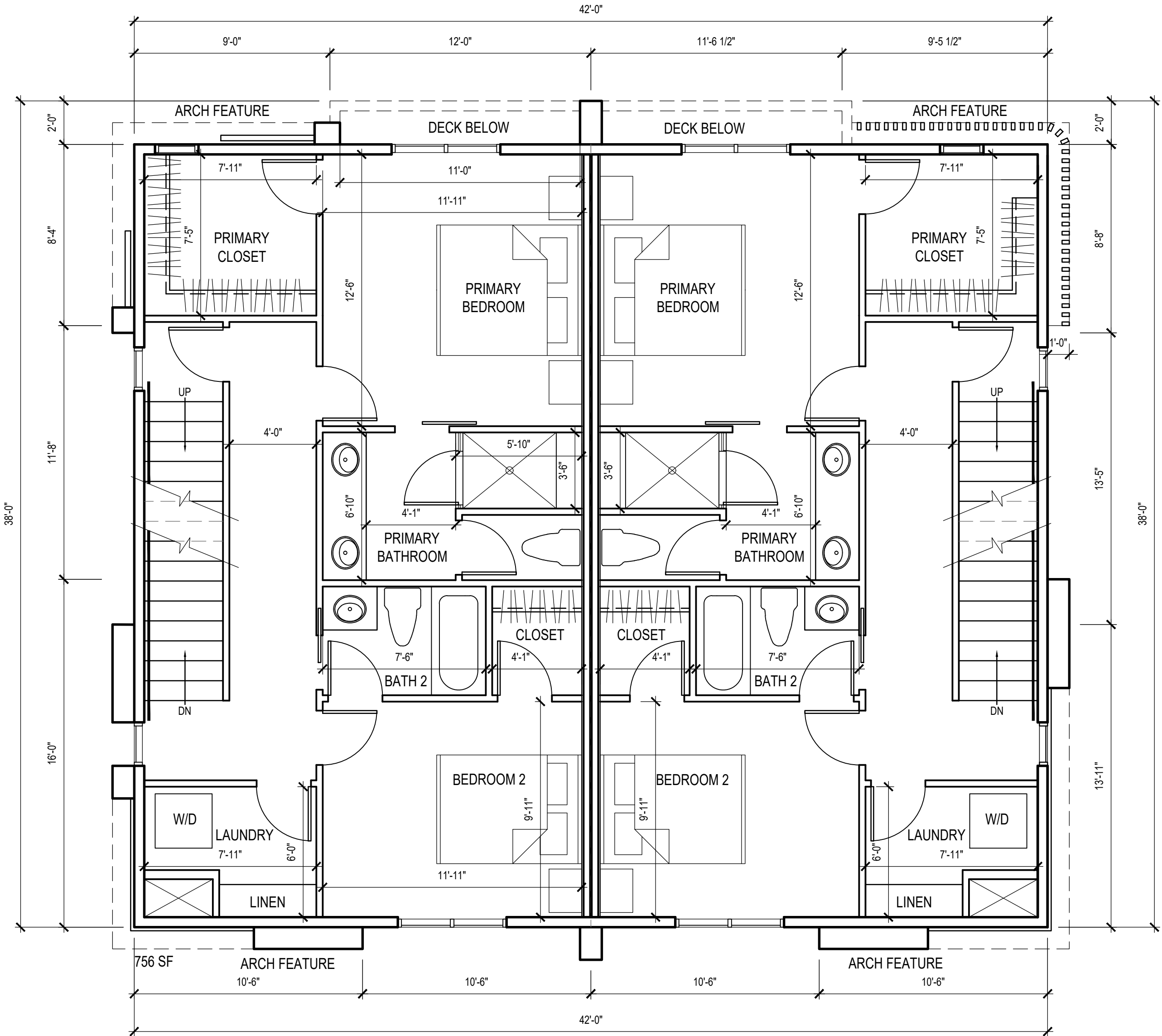
ALL IDEAS, DESIGNS AND
DIRECTION INDICATED WITHIN
THESE DRAWINGS ARE THE
PROPERTY OF KIRK MOELLER
ARCHITECTS, INC. AND ARE
INTENDED TO BE ASSOCIATED
WITH THIS SPECIFIC PROJECT
ONLY AND SHALL NOT
OTHERWISE BE USED FOR ANY
PURPOSE WHATSOEVER WITHOUT
THE WRITTEN CONSENT OF THE
KIRK MOELLER ARCHITECTS, INC.
THERE SHALL BE NO CHANGES
OR DEVIATIONS FROM THESE
DRAWINGS OR ACCOMPANYING
SPECIFICATIONS WITHOUT THE
WRITTEN CONSENT OF THE
ARCHITECT.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

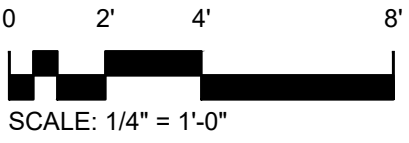
Date:	10-31-2024
Project:	217 S MYERS
File:	A2.3A
Revisions:	
△	PLAN CHECK #1 3-25-25
△	PLAN CHECK #2 5-21-25
△	PLAN CHECK #3 6-26-25
△	PLAN CHECK #4 11-12-25
△	PLAN CHECK #5 12-24-25

Sheet Title:
**BUILDING A
THIRD
FLOOR PLAN**

Sheet Number:
A2.3A



BUILDING A THIRD FLOOR PLAN





KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KIMARCHITECTSINC.COM
760-814-8128

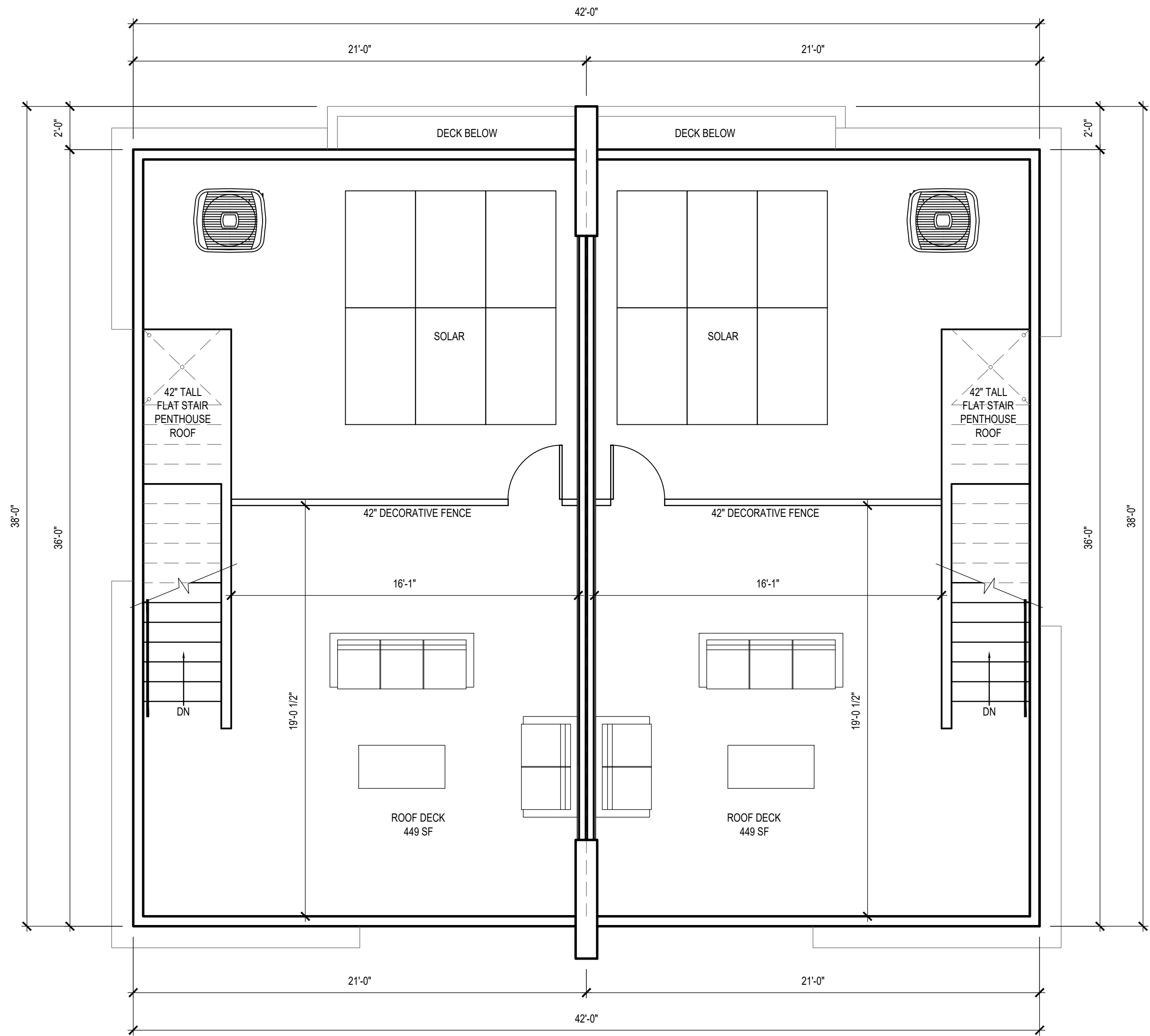
ALL IDEAS, DESIGNS AND
DIRECTION INDICATED WITHIN
THESE DRAWINGS ARE THE
PROPERTY OF KIRK MOELLER
ARCHITECTS, INC. AND ARE
INTENDED TO BE ASSOCIATED
WITH THIS SPECIFIC PROJECT
ONLY AND SHALL NOT
OTHERWISE BE USED FOR ANY
PURPOSE WHATSOEVER WITHOUT
THE WRITTEN CONSENT OF THE
KIRK MOELLER ARCHITECTS, INC.
THERE SHALL BE NO CHANGES
OR DEVIATIONS FROM THESE
DRAWINGS OR ACCOMPANYING
SPECIFICATIONS WITHOUT THE
WRITTEN CONSENT OF THE
ARCHITECT.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

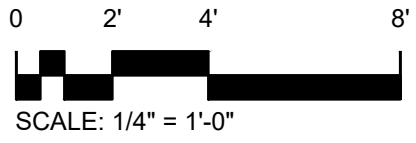
Date:	10-31-2024
Project:	217 S MYERS
File:	A2.4A
Revisions:	
△	PLAN CHECK #1 3-25-25
△	PLAN CHECK #2 5-21-25
△	PLAN CHECK #3 6-26-25
△	PLAN CHECK #4 11-12-25
△	PLAN CHECK #5 12-24-25

Sheet Title:
**BUILDING A
ROOF PLAN**

Sheet Number:
A2.4A



BUILDING A ROOF PLAN





CONCEPTUAL FRONT (EAST) ELEVATION - BUILDING A



CONCEPTUAL REAR (WEST) ELEVATION - BUILDING A

A

LIGHT COLOR SAND FINISH STUCCO 2030, PAINTED SW 7042 SHOJI WHITE

B

AMERICAN STONE, COLOR: AUTUMN GOLD ALPINE

D

COMPOSITE WOOD-LOOK SIDING - SHIPLAP SIDING MEDIUM TONE, AZEK, COLOR: WEATHERED TEAK

F

DECORATIVE DECK GUARDRAIL - CLEAR GLASS WITH SW7020 BLACK FOX TOP CAP

G

FRONT DOORS NATURAL WOOD AND GLASS TO MATCH BUILDING WOOD ACCENT COLOR

H

CLEAR RESIDENTIAL GLAZING WITH BLACK FLUSH AND 2" PROTRUDING FRAMES

J

DECORATIVE WOOD AND FROSTED GLASS GARAGE DOOR

K

DECORATIVE COMPOSITE WOOD SLAT SHADE SCREEN (BRISE SOLEIL)



CONCEPTUAL SIDE (NORTH) ELEVATION - BUILDING A



CONCEPTUAL SIDE (SOUTH) ELEVATION - BUILDING A

RD24-00008

KMA

KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KMAARCHITECTSINC.COM
760-814-8128

ALL IDEAS, DESIGNS AND
DIRECTION INDICATED WITHIN
THESE DRAWINGS ARE THE
PROPERTY OF KIRK MOELLER
ARCHITECTS, INC. AND ARE
INTENDED TO BE ASSOCIATED
WITH THIS SPECIFIC PROJECT
ONLY AND SHALL NOT
OTHERWISE BE USED FOR ANY
PURPOSE WHATSOEVER WITHOUT
THE WRITTEN CONSENT OF THE
KIRK MOELLER ARCHITECTS, INC.
THERE SHALL BE NO CHANGES
OR DEVIATIONS FROM THESE
DRAWINGS OR ACCOMPANYING
SPECIFICATIONS WITHOUT THE
WRITTEN CONSENT OF THE
ARCHITECT.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

Date: 10-31-2024
Project: 217 S MYERS
File: A3.0A
Revisions:
PLAN CHECK #1 3-25-25
PLAN CHECK #2 5-21-25
PLAN CHECK #3 6-26-25
PLAN CHECK #4 11-12-25
PLAN CHECK #5 12-24-25

Sheet Title:
COLORED
ELEVATIONS
BUILDING A

Sheet Number:
A3.0A

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

Date: 10-31-2024

Project: 217 S MYERS

File: A3.1A

Revisions:

PLAN CHECK #1 3-25-25

PLAN CHECK #2 5-21-25

PLAN CHECK #3 6-26-25

PLAN CHECK #4 11-12-25

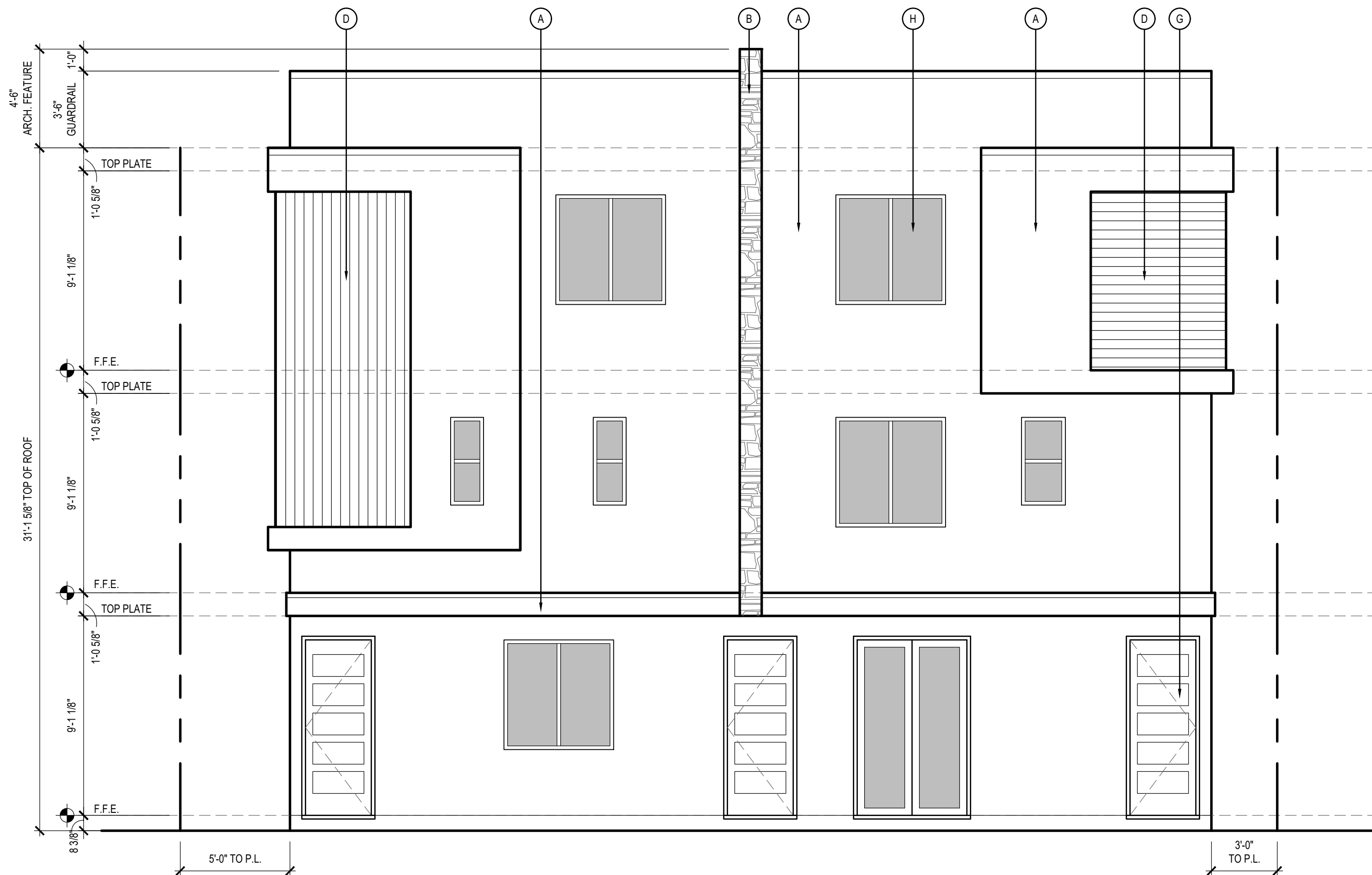
PLAN CHECK #5 12-24-25

Sheet Title:

BUILDING A
ELEVATIONS

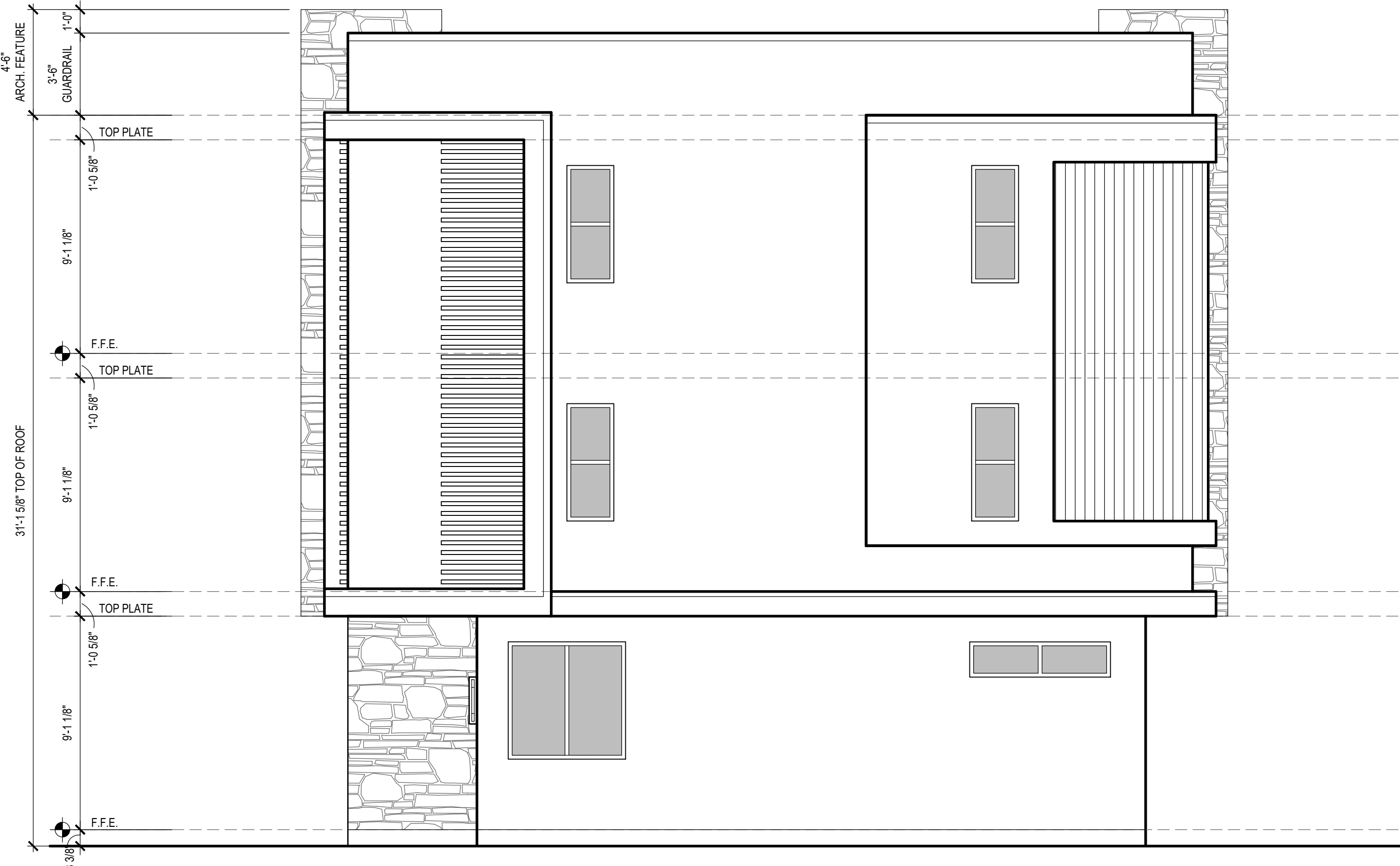
Sheet Number:

A3.1A



BUILDING A WEST ELEVATION

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



BUILDING A NORTH ELEVATION

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. BUILDING HEIGHT IS MEASURED FROM NEWLY CREATED PAD.
2. F.F.E. = FINISH FLOOR ELEVATION.
3. ALL NOTES ARE TYPICAL.
4. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS U.N.O.
5. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
6. ALL WINDOWS ADJACENT TO STUCCO OR SIDING PROVIDE A 4" WIDE AND 2" DEEP WINDOW TRIM OF THE SAME MATERIAL (STUCCO OR FIBER/CEMENT BOARD). AT LEAST 66% OF WINDOWS/ DOORS SHALL HAVE TRIM THAT PROJECTS A MINIMUM OF 2".
7. SLIDING WINDOW AND DOORS FRAMES TO BE VINYL.
8. GUTTERS SHALL BE DECORATIVE PAINTED METAL.

PAINT HATCH LEGEND

- EXTERIOR CEMENT PLASTER 20/30 FINISH (A)
- STONE PER COLOR/ MATERIAL SCHEDULE (B)
- SIDING PER COLOR/ MATERIAL SCHEDULE (D)

COLOR/ MATERIAL SCHEDULE

- (A) LIGHT COLOR STUCCO SAND FINISH 20/30, PAINTED SW 7042 SHOJI WHITE
- (B) AMERICAN STONE, COLOR: AUTUMN GOLD ALPINE
- (D) COMPOSITE WOOD-LOOK SIDING - SHIPLAP SIDING MEDIUM TONE
- (F) DECORATIVE DECK GUARDRAIL - CLEAR GLASS WITH SW7020 BLACK FOX TOP CAP
- (G) FRONT DOORS NATURAL WOOD AND GLASS TO MATCH BUILDING WOOD ACCENT COLOR
- (H) CLEAR RESIDENTIAL GLAZING WITH BLACK FLUSH FRAMES
- (J) DECORATIVE WOOD GARAGE DOOR
- (K) DECORATIVE COMPOSITE WOOD SLAT SHADE SCREEN (BRISÉ SOLEIL)

KEYNOTES

- (1) DECORATIVE BLACK EXTERIOR WALL SCONCE LOCATION.
- (2) BUILDING ADDRESS LOCATION PER CITY OF OCEANSIDE STANDARDS.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

Date: 10-31-2024

Project: 217 S MYERS

File: A3.2A

Revisions:

△ PLAN CHECK #1 3-25-25

△ PLAN CHECK #2 5-21-25

△ PLAN CHECK #3 6-26-25

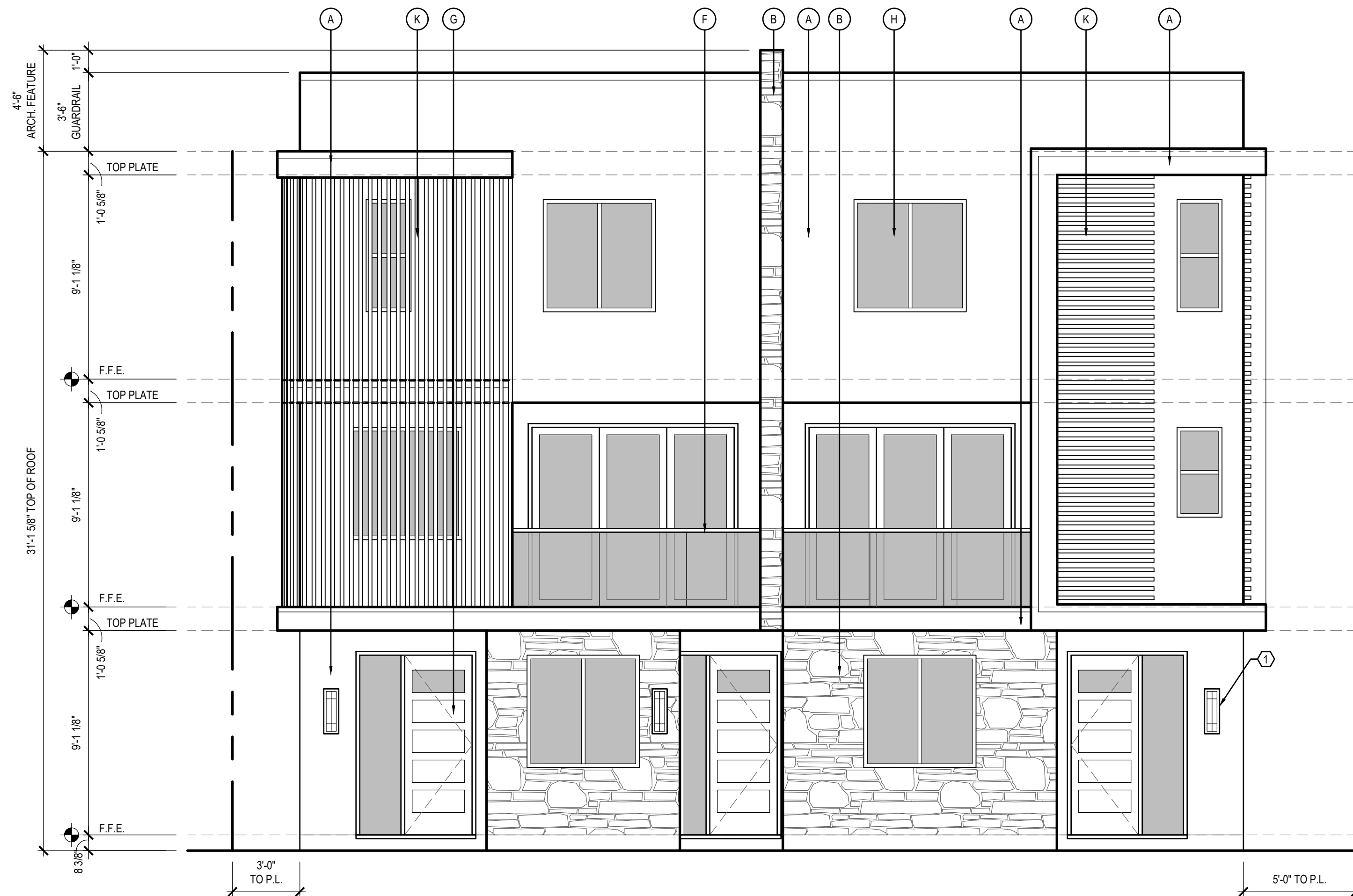
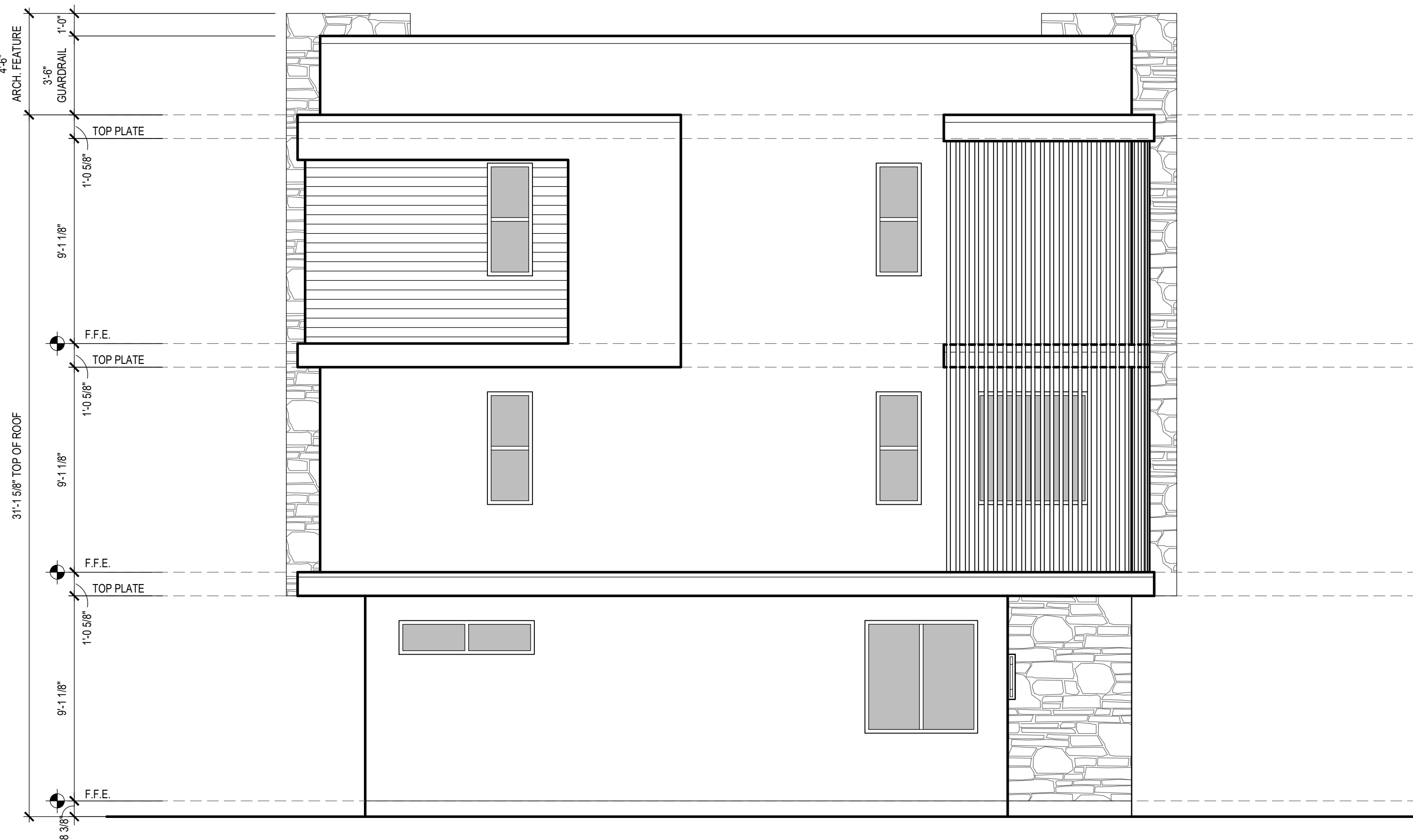
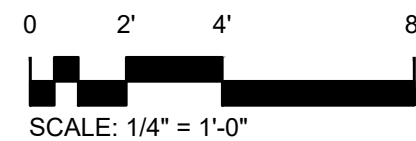
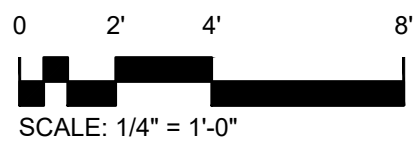
△ PLAN CHECK #4 11-12-25

△ PLAN CHECK #5 12-24-25

Sheet Title:

**BUILDING A
ELEVATIONS**

Sheet Number:

A3.2A**BUILDING A EAST ELEVATION****BUILDING A SOUTH ELEVATION****GENERAL NOTES**

- BUILDING HEIGHT IS MEASURED FROM NEWLY CREATED PAD.
- F.F.E. = FINISH FLOOR ELEVATION.
- ALL NOTES ARE TYPICAL.
- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS U.N.O.
- ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- ALL WINDOWS ADJACENT TO STUCCO OR SIDING PROVIDE A 4" WIDE AND 2" DEEP WINDOW TRIM OF THE SAME MATERIAL (STUCCO OR FIBER/CEMENT BOARD). AT LEAST 66% OF WINDOWS/ DOORS SHALL HAVE TRIM THAT PROJECTS A MINIMUM OF 2".
- SLIDING WINDOW AND DOORS FRAMES TO BE VINYL.
- GUTTERS SHALL BE DECORATIVE PAINTED METAL.

PAINT HATCH LEGEND

- EXTERIOR CEMENT PLASTER 20/30 FINISH (A)
- STONE PER COLOR/ MATERIAL SCHEDULE (B)
- ▨ SIDING PER COLOR/ MATERIAL SCHEDULE (D)

COLOR/ MATERIAL SCHEDULE

- (A) LIGHT COLOR STUCCO SAND FINISH 20/30, PAINTED SW 7042 SHOJI WHITE
- (B) AMERICAN STONE, COLOR: AUTUMN GOLD ALPINE
- (D) COMPOSITE WOOD-LOOK SIDING - SHIPLAP SIDING MEDIUM TONE
- (F) DECORATIVE DECK GUARDRAIL - CLEAR GLASS WITH SW7020 BLACK FOX TOP CAP
- (G) FRONT DOORS NATURAL WOOD AND GLASS TO MATCH BUILDING WOOD ACCENT COLOR
- (H) CLEAR RESIDENTIAL GLAZING WITH BLACK FLUSH FRAMES
- (J) DECORATIVE WOOD GARAGE DOOR
- (K) DECORATIVE COMPOSITE WOOD SLAT SHADE SCREEN (BRISÉ SOLEIL)

KEYNOTES

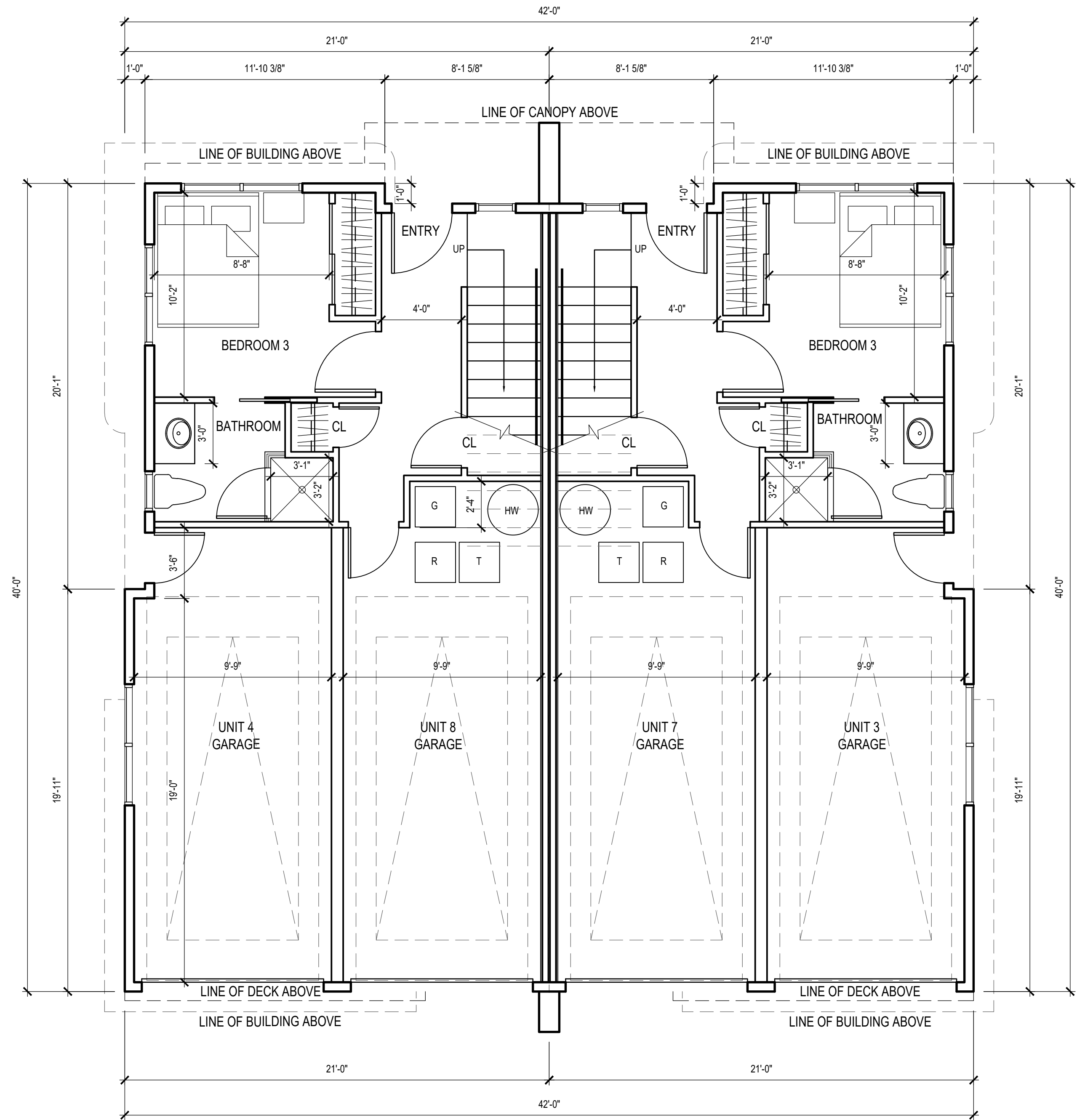
- ① DECORATIVE BLACK EXTERIOR WALL SCONCE LOCATION.
- ② BUILDING ADDRESS LOCATION PER CITY OF OCEANSIDE STANDARDS.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

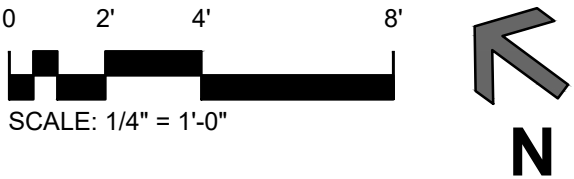
Date:	10-31-2024
Project:	217 S MYERS
File:	A2.1B
Revisions:	
⚠	PLAN CHECK #1 3-25-25
⚠	PLAN CHECK #2 5-21-25
⚠	PLAN CHECK #3 6-26-25
⚠	PLAN CHECK #4 11-12-25
⚠	PLAN CHECK #5 12-24-25

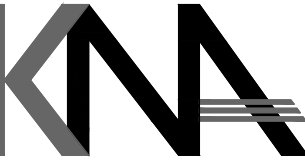
Sheet Title:
BUILDING B
FIRST
FLOOR PLAN

Sheet Number:
A2.1B



BUILDING B FIRST FLOOR PLAN





KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KMARCHITECTSINC.COM
760-814-8128

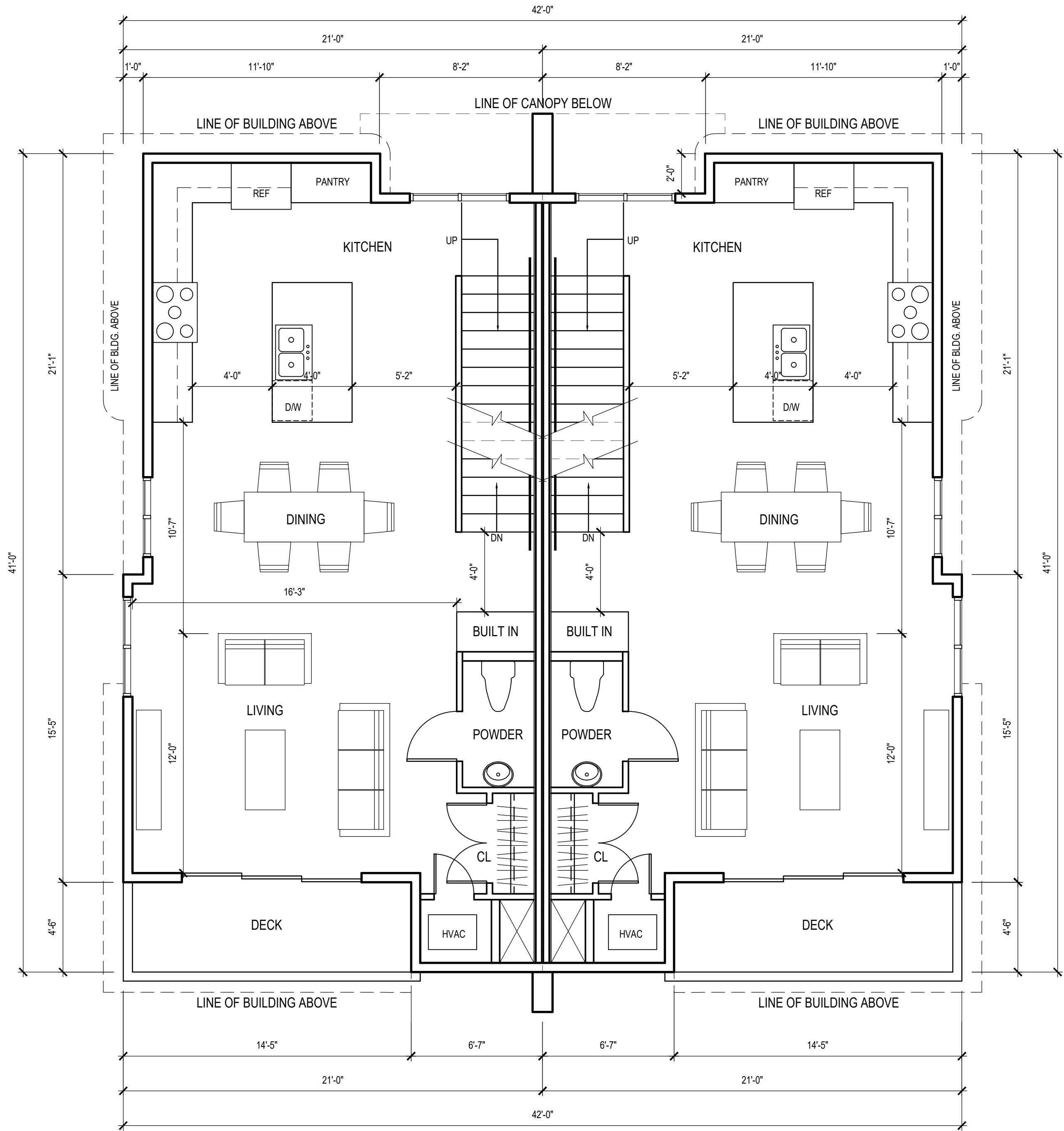
ALL IDEAS, DESIGNS AND
DIRECTION INDICATED WITHIN
THESE DRAWINGS ARE THE
PROPERTY OF KIRK MOELLER
ARCHITECTS, INC. AND ARE
INTENDED TO BE ASSOCIATED
WITH THIS SPECIFIC PROJECT
ONLY AND SHALL NOT
OTHERWISE BE USED FOR ANY
PURPOSE WHATSOEVER WITHOUT
THE WRITTEN CONSENT OF THE
KIRK MOELLER ARCHITECTS, INC.
THERE SHALL BE NO CHANGES
OR DEVIATIONS FROM THESE
DRAWINGS OR ACCOMPANYING
SPECIFICATIONS WITHOUT THE
WRITTEN CONSENT OF THE
ARCHITECT.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

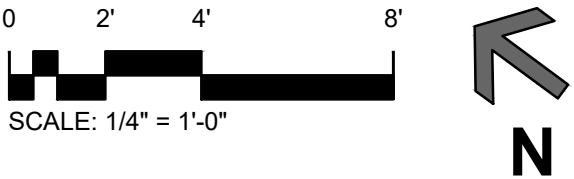
Date:	10-31-2024
Project:	217 S MYERS
File:	A2.2B
Revisions:	
△	PLAN CHECK #1 3-25-25
△	PLAN CHECK #2 5-21-25
△	PLAN CHECK #3 6-26-25
△	PLAN CHECK #4 11-12-25
△	PLAN CHECK #5 12-24-25

Sheet Title:
**BUILDING B
SECOND
FLOOR PLAN**

Sheet Number:
A2.2B



BUILDING B SECOND FLOOR PLAN





KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KIMARCHITECTSINC.COM
760-814-8128

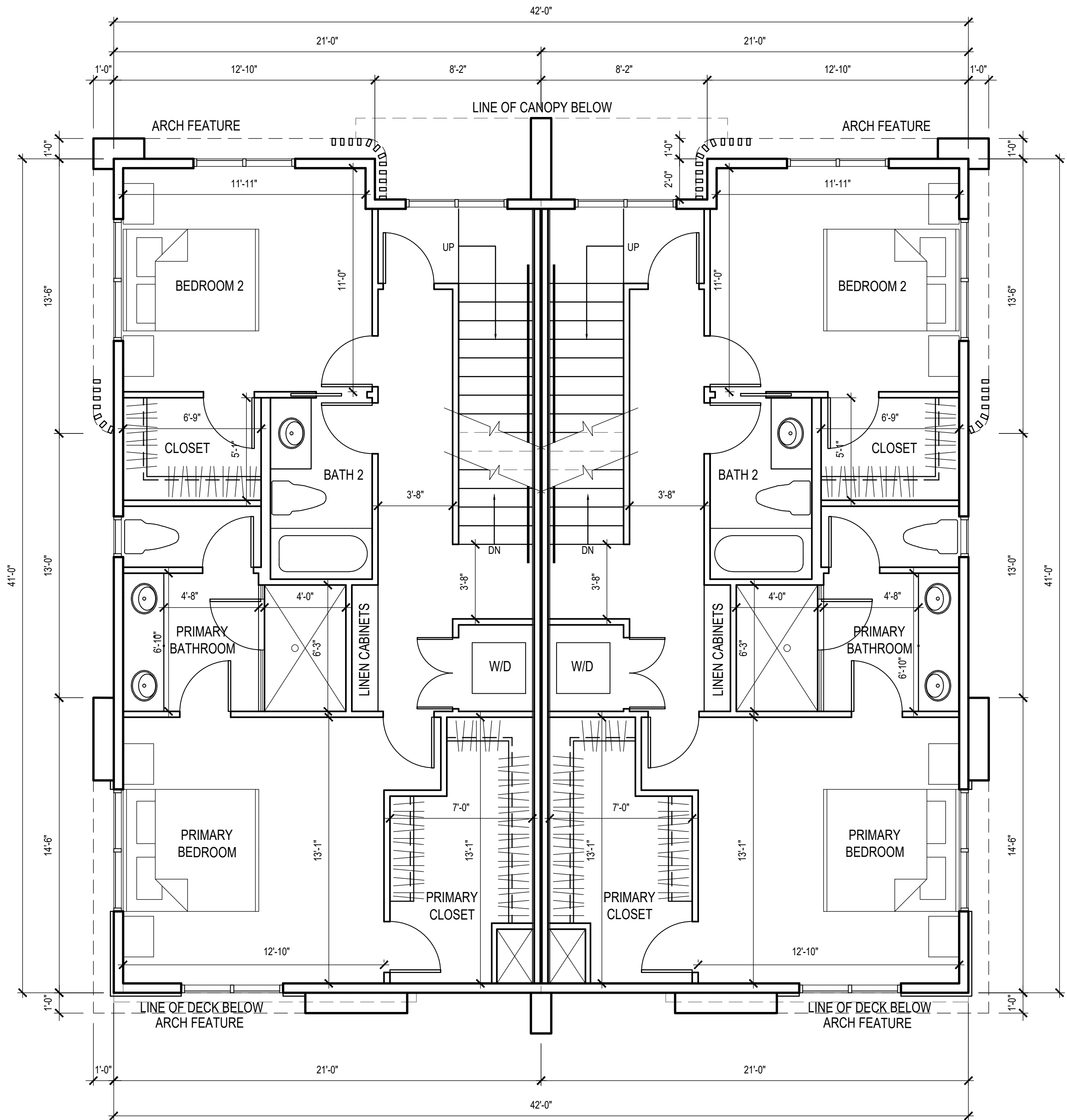
ALL IDEAS, DESIGNS AND
DIRECTION INDICATED WITHIN
THESE DRAWINGS ARE THE
PROPERTY OF KIRK MOELLER
ARCHITECTS, INC. AND ARE
INTENDED TO BE ASSOCIATED
WITH THIS SPECIFIC PROJECT
ONLY AND SHALL NOT
OTHERWISE BE USED FOR ANY
PURPOSE WHATSOEVER WITHOUT
THE WRITTEN CONSENT OF THE
KIRK MOELLER ARCHITECTS, INC.
THERE SHALL BE NO CHANGES
OR DEVIATIONS FROM THESE
DRAWINGS OR ACCOMPANYING
SPECIFICATIONS WITHOUT THE
WRITTEN CONSENT OF THE
ARCHITECT.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

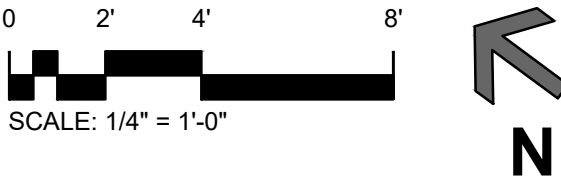
Date:	10-31-2024
Project:	217 S MYERS
File:	A2.3B
Revisions:	
△	PLAN CHECK #1 3-25-25
△	PLAN CHECK #2 5-21-25
△	PLAN CHECK #3 6-26-25
△	PLAN CHECK #4 11-12-25
△	PLAN CHECK #5 12-24-25

Sheet Title:
**BUILDING B
THIRD
FLOOR PLAN**

Sheet Number:
A2.3B



BUILDING B THIRD FLOOR PLAN





KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KIMARCHITECTSINC.COM
760-814-8128

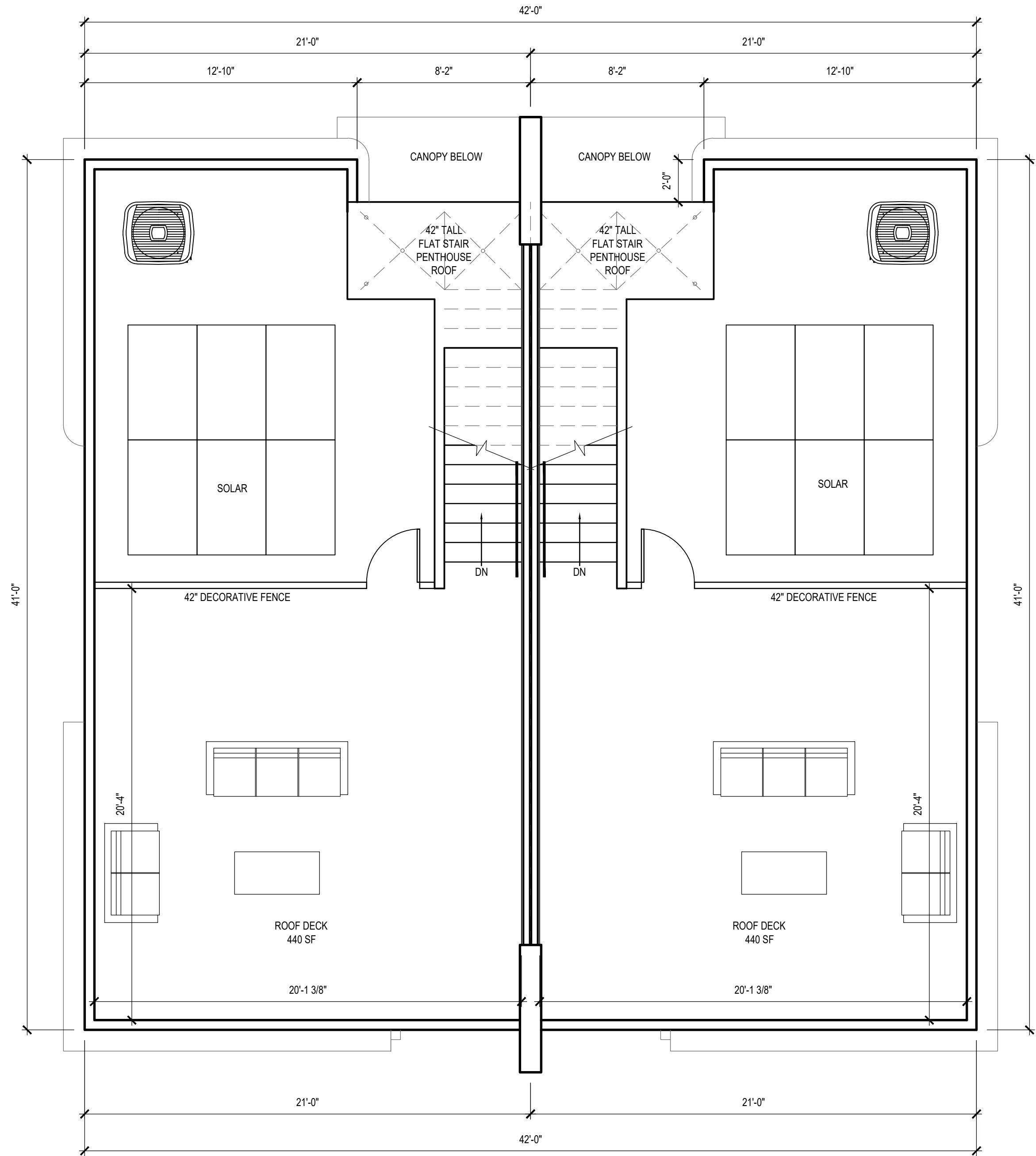
ALL IDEAS, DESIGNS AND
DIRECTION INDICATED WITHIN
THESE DRAWINGS ARE THE
PROPERTY OF KIRK MOELLER
ARCHITECTS, INC. AND ARE
INTENDED TO BE ASSOCIATED
WITH THIS SPECIFIC PROJECT
ONLY AND SHALL NOT
OTHERWISE BE USED FOR ANY
PURPOSE WHATSOEVER WITHOUT
THE WRITTEN CONSENT OF THE
KIRK MOELLER ARCHITECTS, INC.
THERE SHALL BE NO CHANGES
OR DEVIATIONS FROM THESE
DRAWINGS OR ACCOMPANYING
SPECIFICATIONS WITHOUT THE
WRITTEN CONSENT OF THE
ARCHITECT.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

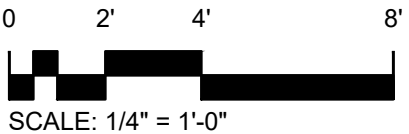
Date:	10-31-2024
Project:	217 S MYERS
File:	A2.4B
Revisions:	
△	PLAN CHECK #1 3-25-25
△	PLAN CHECK #2 5-21-25
△	PLAN CHECK #3 6-26-25
△	PLAN CHECK #4 11-12-25
△	PLAN CHECK #5 12-24-25

Sheet Title:
**BUILDING B
ROOF PLAN**

Sheet Number:
A2.4B



BUILDING B ROOF PLAN





CONCEPTUAL FRONT (EAST) ELEVATION - BUILDING B



CONCEPTUAL REAR (WEST) ELEVATION - BUILDING B

A LIGHT COLOR SAND FINISH STUCCO 2030, PAINTED SW 7042 SHOJI WHITE

B AMERICAN STONE, COLOR: AUTUMN GOLD ALPINE

D COMPOSITE WOOD-LOOK SIDING - SHIPLAP SIDING MEDIUM TONE, AZEK, COLOR: WEATHERED TEAK

F DECORATIVE DECK GUARDRAIL - CLEAR GLASS WITH SW7020 BLACK FOX TOP CAP

G FRONT DOORS NATURAL WOOD AND GLASS TO MATCH BUILDING WOOD ACCENT COLOR

H CLEAR RESIDENTIAL GLAZING WITH BLACK FLUSH AND 2" PROTRUDING FRAMES

J DECORATIVE WOOD AND FROSTED GLASS GARAGE DOOR

K DECORATIVE COMPOSITE WOOD SLAT SHADE SCREEN (BRISE SOLEIL)

COLOR & MATERIAL PALETTE



CONCEPTUAL SIDE (NORTH) ELEVATION - BUILDING B



CONCEPTUAL SIDE (SOUTH) ELEVATION - BUILDING B

RD24-00008

KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KMAARCHITECTSINC.COM
760-614-8128

ALL IDEAS, DESIGNS AND DIRECTION INDICATED WITHIN THESE DRAWINGS ARE THE PROPERTY OF KIRK MOELLER ARCHITECTS, INC. AND ARE INTENDED TO BE ASSOCIATED WITH THIS SPECIFIC PROJECT ONLY AND SHALL NOT OTHERWISE BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF THE KIRK MOELLER ARCHITECTS, INC. THERE SHALL BE NO CHANGES OR DEVIATIONS FROM THESE DRAWINGS OR ACCOMPANYING SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

Date: 10-31-2024
Project: 217 S MYERS
File: A3.0B
Revisions:
PLAN CHECK #1 3-25-25
PLAN CHECK #2 5-21-25
PLAN CHECK #3 6-26-25
PLAN CHECK #4 11-12-25
PLAN CHECK #5 12-24-25

Sheet Title:
COLORED
ELEVATIONS
BUILDING B

Sheet Number:
A3.0B



KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 317
CARLSBAD, CA 92010
KIRK@KMARCHITECTSINC.COM
760-614-8128

ALL IDEAS, DESIGNS AND DIRECTION INDICATED WITHIN THESE DRAWINGS ARE THE PROPERTY OF KIRK MOELLER ARCHITECTS, INC. AND ARE INTENDED TO BE ASSOCIATED WITH THIS SPECIFIC PROJECT ONLY AND SHALL NOT OTHERWISE BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF THE KIRK MOELLER ARCHITECTS, INC. THERE SHALL BE NO CHANGES OR DEVIATIONS FROM THESE DRAWINGS OR ACCOMPANYING SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

217 S MYERS BEACH HOMES
217 S MYERS STREET
OCEANSIDE, CA

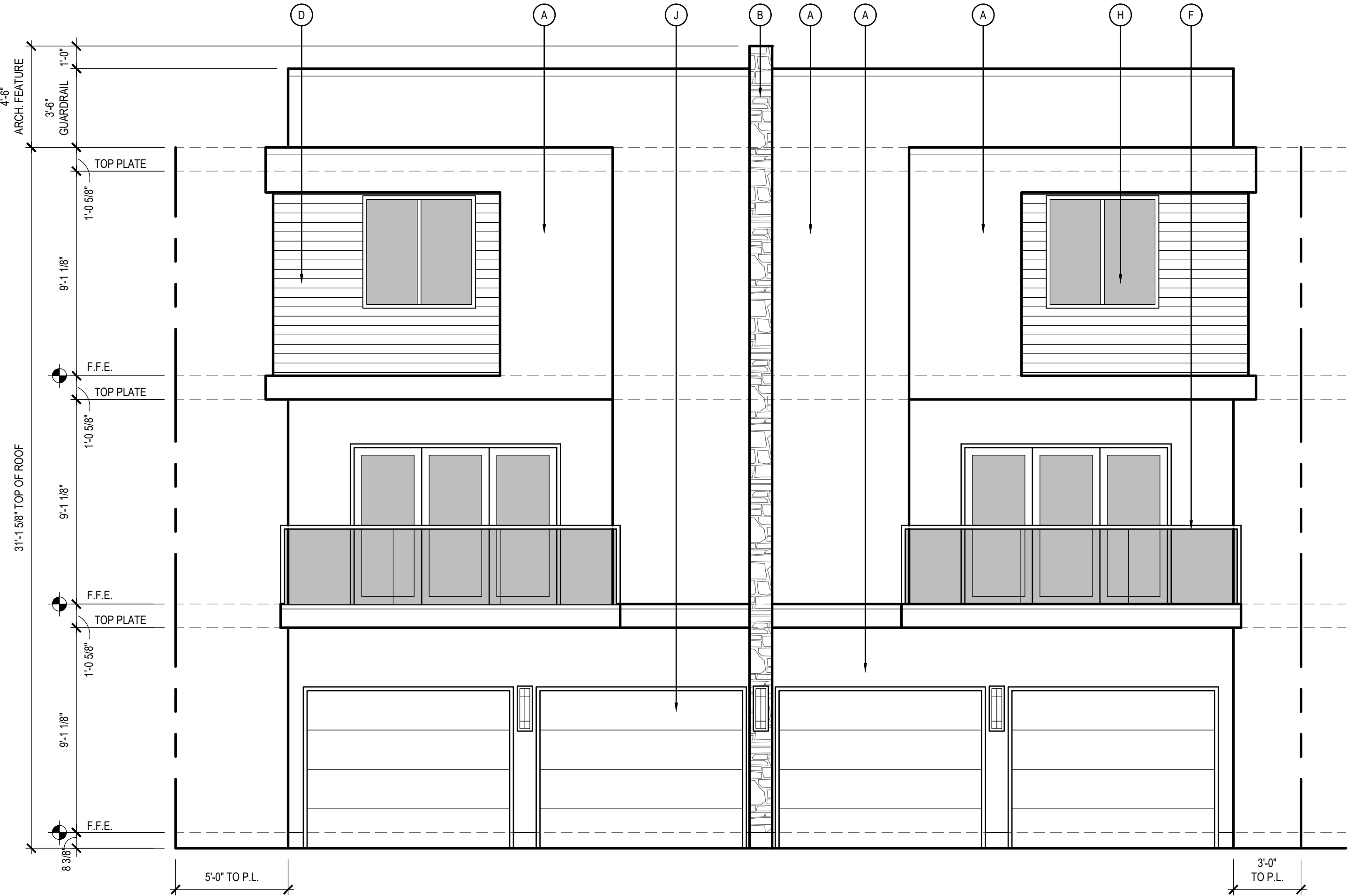
Date: 10-31-2024
Project: 217 S MYERS
File: A3.1B

Revisions:	
⚠	PLAN CHECK #1 3-25-25
⚠	PLAN CHECK #2 5-21-25
⚠	PLAN CHECK #3 6-26-25
⚠	PLAN CHECK #4 11-12-25
⚠	PLAN CHECK #5 12-24-25

Sheet Title:
**BUILDING A
ELEVATIONS**

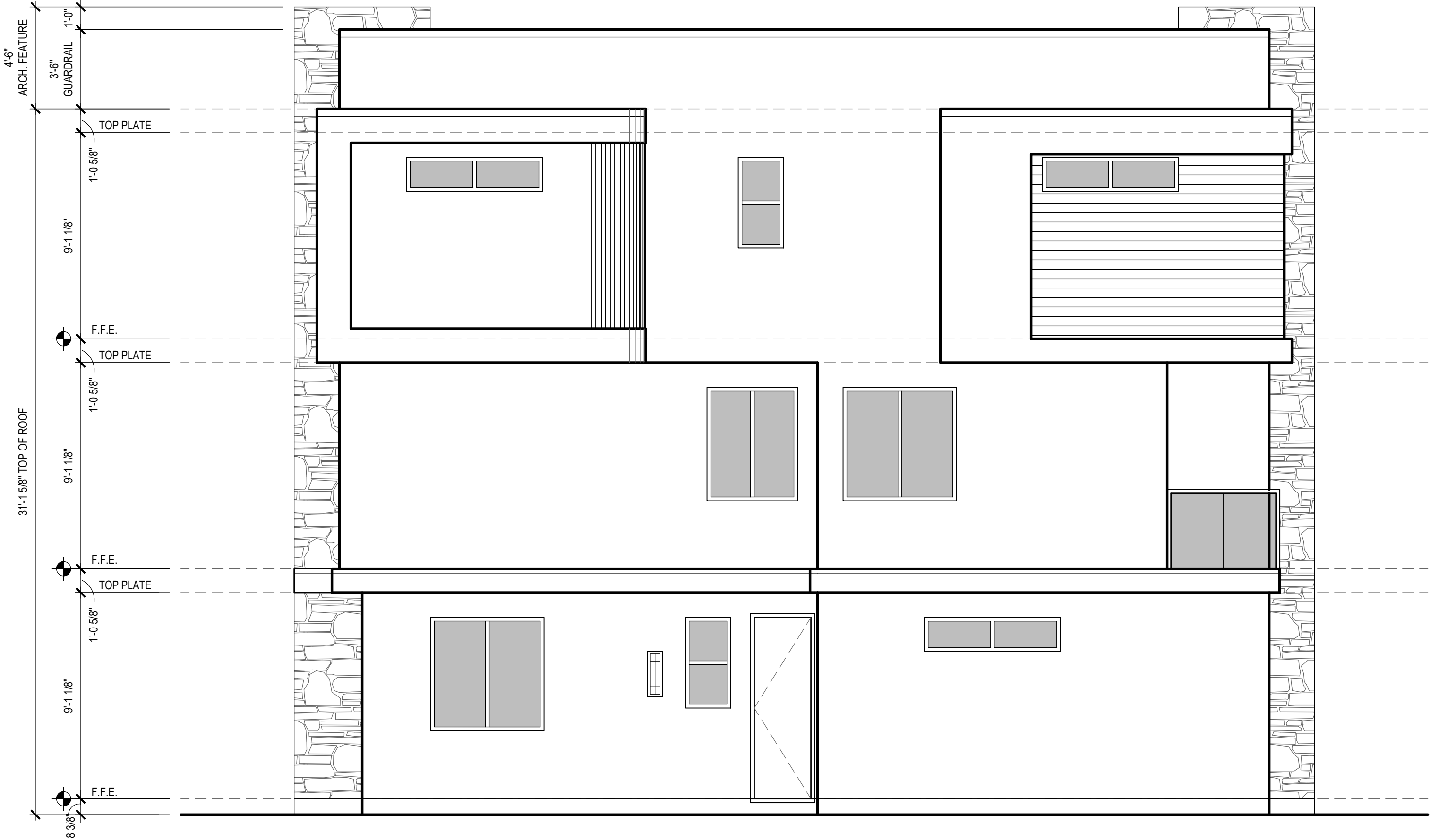
Sheet Number:

A3.1B



BUILDING B WEST ELEVATION

0 2' 4' 8'
SCALE: 1/4" = 1'-0"



BUILDING B NORTH ELEVATION

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- BUILDING HEIGHT IS MEASURED FROM NEWLY CREATED PAD.
- F.F.E. = FINISH FLOOR ELEVATION.
- ALL NOTES ARE TYPICAL.
- ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS U.N.O.
- ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- ALL WINDOWS ADJACENT TO STUCCO OR SIDING PROVIDE A 4" WIDE AND 2" DEEP WINDOW TRIM OF THE SAME MATERIAL (STUCCO OR FIBER/CEMENT BOARD). AT LEAST 66% OF WINDOWS/ DOORS SHALL HAVE TRIM THAT PROJECTS A MINIMUM OF 2".
- SLIDING WINDOW AND DOORS FRAMES TO BE VINYL.
- GUTTERS SHALL BE DECORATIVE PAINTED METAL.

PAINT HATCH LEGEND

	EXTERIOR CEMENT PLASTER 20/30 FINISH (A)
	STONE PER COLOR/ MATERIAL SCHEDULE (B)
	SIDING PER COLOR/ MATERIAL SCHEDULE (D)

COLOR/ MATERIAL SCHEDULE

- (A) LIGHT COLOR STUCCO SAND FINISH 20/30, PAINTED SW 7042 SHOJI WHITE
- (B) AMERICAN STONE, COLOR: AUTUMN GOLD ALPINE
- (D) COMPOSITE WOOD-LOOK SIDING - SHIPLAP SIDING MEDIUM TONE
- (F) DECORATIVE DECK GUARDRAIL - CLEAR GLASS WITH SW7020 BLACK FOX TOP CAP
- (G) FRONT DOORS NATURAL WOOD AND GLASS TO MATCH BUILDING WOOD ACCENT COLOR
- (H) CLEAR RESIDENTIAL GLAZING WITH BLACK FLUSH FRAMES
- (J) DECORATIVE WOOD GARAGE DOOR
- (K) DECORATIVE COMPOSITE WOOD SLAT SHADE SCREEN (BRISE SOLEIL)

KEYNOTES

- ① DECORATIVE BLACK EXTERIOR WALL SCONCE LOCATION.
- ② BUILDING ADDRESS LOCATION PER CITY OF OCEANSIDE STANDARDS.



KIRK MOELLER ARCHITECTS, INC.
2888 LOKER AVE. EAST, STE 310
CARLSBAD, CA 92010
KIRK@KMARCHITECTSINC.COM
760-814-8128

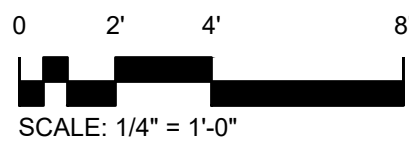
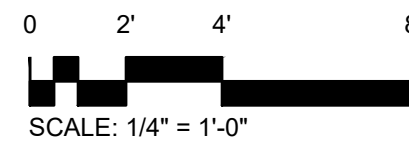
ALL IDEAS, DESIGNS AND DIRECTION INDICATED WITHIN THESE DRAWINGS ARE THE PROPERTY OF KIRK MOELLER ARCHITECTS, INC. AND ARE INTENDED TO BE ASSOCIATED WITH THIS SPECIFIC PROJECT ONLY AND SHALL NOT OTHERWISE BE USED FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN CONSENT OF THE KIRK MOELLER ARCHITECTS, INC. THERE SHALL BE NO CHANGES OR DEVIATIONS FROM THESE DRAWINGS OR ACCOMPANYING SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

Date:	10-31-20
Project:	217 S MYEF
File:	A3

1	PLAN CHECK #1 3-25-2
2	PLAN CHECK #2 5-21-2
3	PLAN CHECK #3 6-26-2
4	PLAN CHECK #4 11-12-
5	PLAN CHECK #5 12-24-

Sheet Number:

A3.2B



GENERAL NOTES

1. BUILDING HEIGHT IS MEASURED FROM NEWLY CREATED PAD.
2. F.F.E. = FINISH FLOOR ELEVATION.
3. ALL NOTES ARE TYPICAL.
4. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS U.N.O.
5. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
6. ALL WINDOWS ADJACENT TO STUCCO OR SIDING PROVIDE A 4" WIDE AND 2" DEEP WINDOW TRIM OF THE SAME MATERIAL (STUCCO OR FIBER/CEMENT BOARD). AT LEAST 66% OF WINDOWS/ DOORS SHALL HAVE TRIM THAT PROJECTS A MINIMUM OF 2".
7. SLIDING WINDOW AND DOORS FRAMES TO BE VINYL.
8. GUTTERS SHALL BE DECORATIVE PAINTED METAL.

PAINT HATCH LEGEND

 EXTERIOR CEMENT PLASTER 20/30 FINISH (A)

 STONE PER COLOR/ MATERIAL SCHEDULE (B)

 SIDING PER COLOR/ MATERIAL SCHEDULE (D)

COLOR/ MATERIAL SCHEDULE

- | | |
|-----|--|
| (A) | LIGHT COLOR STUCCO SAND FINISH 20/30, PAINTED SW 7042 SHOJI WHITE |
| (B) | AMERICAN STONE, COLOR: AUTUMN GOLD ALPINE |
| (C) | COMPOSITE WOOD-LOOK SIDING - SHIPAL SIDING MEDIUM TONE |
| (D) | DECORATIVE DECK GUARDRAIL - CLEAR GLASS WITH SW7020 BLACK FOX TOP CAP |
| (E) | FRONT DOORS NATURAL WOOD AND GLASS TO MATCH BUILDING WOOD ACCENT COLOR |
| (H) | CLEAR RESIDENTIAL GLAZING WITH BLACK FLUSH FRAMES |
| (J) | DECORATIVE WOOD GARAGE DOOR |
| (K) | DECORATIVE COMPOSITE WOOD SLAT SHADE SCREEN (BRISE SOLEIL) |

KEYNOTES

- ① DECORATIVE BLACK EXTERIOR WALL SCONCE LOCATION.
② BUILDING ADDRESS LOCATION PER CITY OF OCEANSIDE STANDARDS.

LEGEND

PUBLIC RIGHT-OF-WAY	----
PROPERTY BOUNDARY	----
CENTERLINE OF ROAD	----
ADJACENT PROPERTY LINE	----
SETBACK LINE	----

EXISTING EASEMENTS

THERE ARE NO EXISTING EASEMENTS OF RECORD ENCUMBERING THE PROPERTY ACCORDING TO THE PRELIMINARY TITLE REPORT ISSUED BY THE CHICAGO TITLE COMPANY, DATED FEBRUARY 22, 2024

PROPOSED EASEMENTS

- 1 PROPOSED VEHICLE ACCESS EASEMENT GRANTED BY LOT 4 OF BLOCK 13, MAP 218 F.B.O. LOT 5 OF BLOCK 13, MAP 218

SETBACKS

FRONT YARD SETBACK	(FYSB)	10' (PER ZONE)
REAR YARD SETBACK	(RYSB)	5' (PER ZONE)
SIDE YARD SETBACK	(SYSB)	3' (PER ZONE)

*SETBACKS PER CITY OF OCEANSIDE ZONING ORDINANCE FOR D-5 ZONING FOR HIGH DENSITY RESIDENTIAL. REFER TO ARTICLE 12 FOR HIGH DENSITY RESIDENTIAL, D-5 ZONE DEVELOPMENT STANDARDS

ZONING INFORMATION

GENERAL PLAN DESIGNATION:	D-5	PRESENT USE: RESIDENTIAL
PRESENT ZONING REQUIREMENTS:	D-5	PROPOSED USE: RESIDENTIAL
BUILDING HEIGHT:	35 FEET*	TOTAL UNITS: X5 MULTI-FAMILY RESIDENTIAL

*BUILDING HEIGHT ALLOWED IS 35 FEET UNLESS PROJECT LOCATED ON WEST SIDE OF NORTH PACIFIC STREET BETWEEN SURFRIDER WAY AND BREAKWATER WAY WHERE THE LIMIT IS 27 FEET.

UTILITIES

WATER	CITY OF OCEANSIDE WATER UTILITIES DISTRICT
FIRE	OCEANSIDE FIRE PROTECTION DISTRICT
SEWER	CITY OF OCEANSIDE
ELEMENTARY SCHOOL	OCEANSIDE UNIFIED SCHOOL DISTRICT
HIGH SCHOOL	OCEANSIDE HIGH SCHOOL DISTRICT

FEMA INFORMATION

FEMA FLOOD ZONE: ZONE X / NOT LOCATED WITHIN SPECIAL FLOOD ZONE
FIRM COMMUNITY PANEL: 06073C0734J
EFFECTIVE DATE: DECEMBER 20, 2019

SCOPE OF WORK

THIS PROJECT SEEKS APPROVAL TO DEMOLISH ALL EXISTING ONSITE STRUCTURES AND CONSTRUCT A MULTI-RESIDENTIAL DEVELOPMENT CONSISTING OF X5 NEW MULTI-FAMILY FOR-SALE AIRSPACE CONDOMINIUM UNITS. THIS PROJECT SEEKS APPROVAL FOR A TENTATIVE MAP, DEVELOPMENT PLAN, CONDITIONAL USE PERMIT AND REGULAR COASTAL PERMIT.

SITE ACCESS

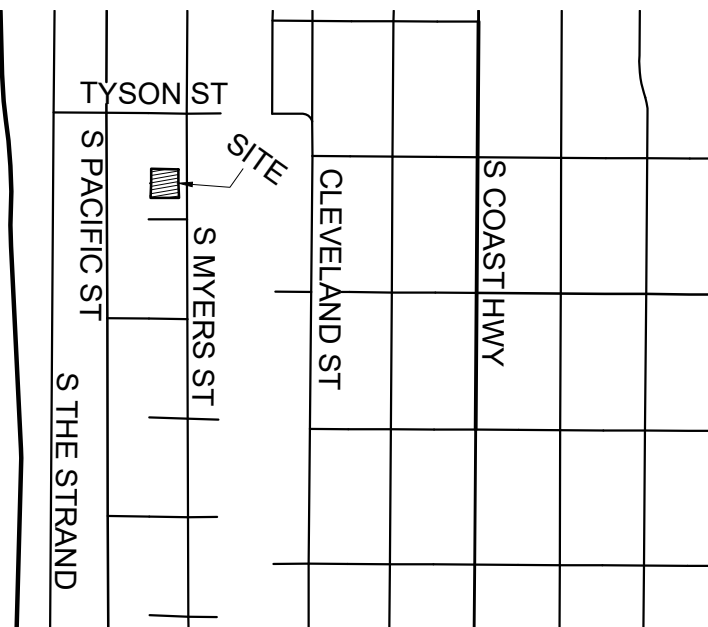
VEHICULAR ACCESS PROVIDED FROM PUBLIC ALLEY

RECORD REFERENCES

R1 - MAP 15670
R2 - MAP 218
PM 20254

CIVIL SHEET INDEX

SHEET 1	TITLE SHEET / TYPICAL SECTIONS
SHEET 2	PRELIMINARY GRADING PLAN
SHEET 3	SECTIONS AND DETAILS

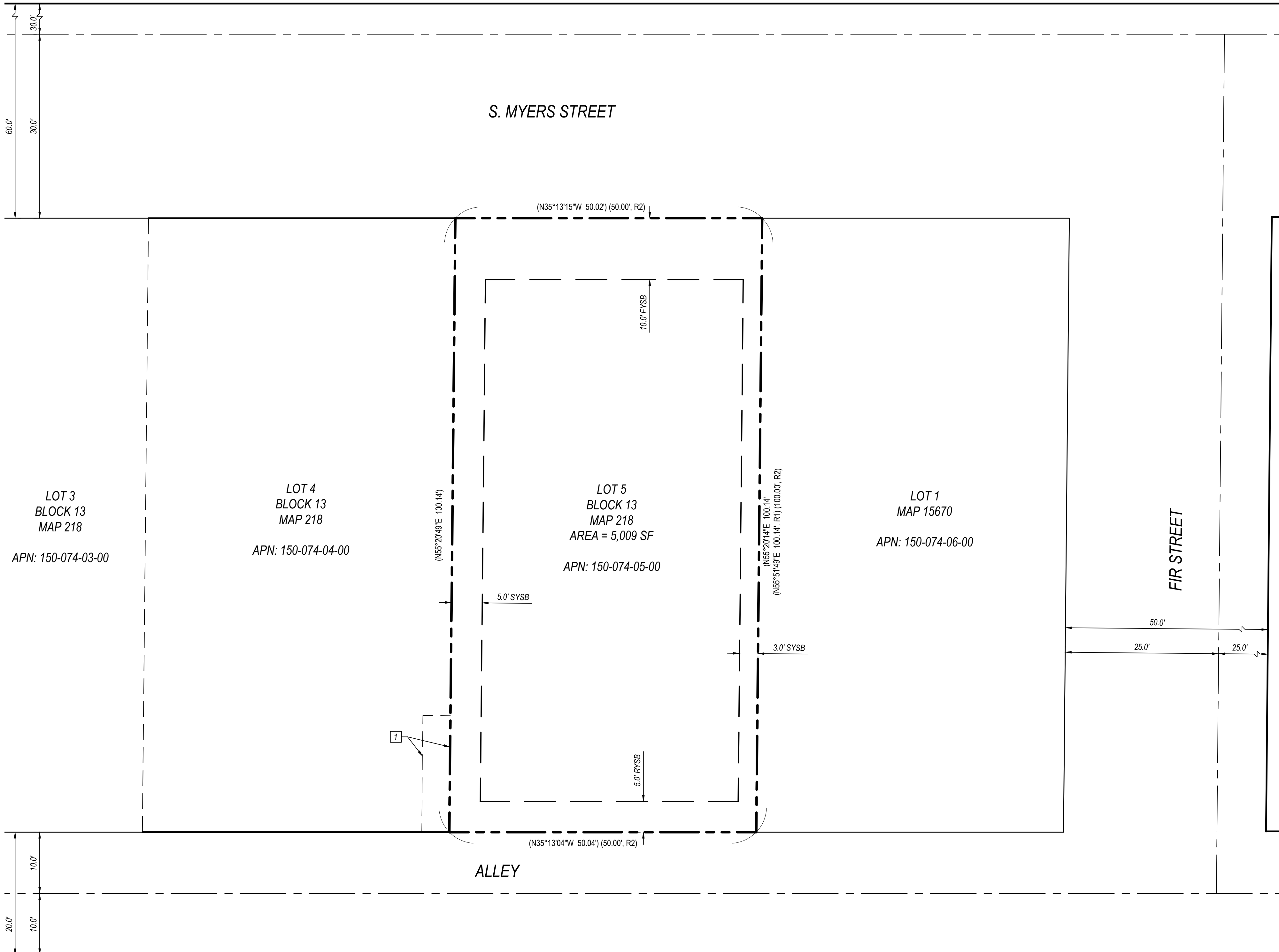


VICINITY MAP
NOT TO SCALE

RD24-00008

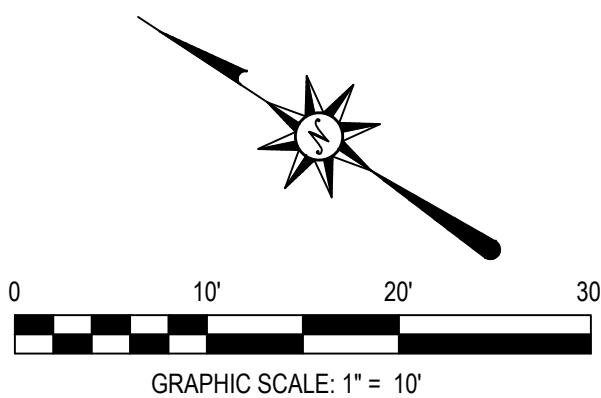
TENTATIVE MAP / DEVELOPMENT PLAN / CONDITIONAL USE PERMIT / REGULAR COASTAL PERMIT

217 S. MYERS BEACH HOMES



PLAN VIEW - LOT LAYOUT

SCALE: 1" = 10' HORIZONTAL



OWNER INFORMATION

WE HEREBY CERTIFY THAT WE ARE THE RECORDED OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED COASTAL DEVELOPMENT PERMIT AND THAT SAID PLAN SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. I UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATE BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

OWNER: **PRELIMINARY**
217 S. MYERS LLC.
257 CASTRO ST. SUITE 224, MOUNTAIN VIEW CA 94041

SURVEYOR STATEMENT

THE BOUNDARY SHOWN HEREON ACCURATELY REPRESENTS A BOUNDARY SURVEY PERFORMED BY ME OR UNDER MY DIRECTION ON 07/09/2024. EASEMENTS OF RECORD SHOWN HEREON REPRESENT PLOTTING OF SAID DOCUMENTS TITLE COMMITMENT PROVIDED BY CHICAGO TITLE COMPANY WITH ORDER NO 00205195-CFU AND UPDATED AND AMENDED 02/22/2024

SURVEYOR: **PRELIMINARY**
MAXIMILIAN LEBL, PLS DATE:

LEGAL DESCRIPTION

LOT 5, OF BLOCK 13, OF TYSON'S ADDITION, IN THE CITY OF OCEANSIDE, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 218 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY OCTOBER 26, 1885.

SITE ADDRESS

217 S. MYERS STREET, OCEANSIDE CA 92054
APN: 150-074-05-00

SURVEY NOTE

TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION SHOWN HEREON WAS PREPARED ON JULY, 9 2024. BY:

PASCO, LARET, SUITER & ASSOCIATES
1911 SAN DIEGO AVENUE, SUITE 100
SAN DIEGO, CA 92110
PH: (658) 259-8212

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (CCS83) EPOCH 2011, ZONE 6, AS DETERMINED LOCALLY BY A LINE BETWEEN FIRST ORDER CONTROL STATIONS 1005 AND 1004 BEING A GRID BEARING OF N 55°18'14" E AS DERIVED FROM GEODETIC VALUES SHOWN ON RECORD OF SURVEY 21787, CITY OF OCEANSIDE. CONTROL SURVEY, FILED ON 8/21/2014 AS FILE NUMBER 2014-0361129 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON 3.5" BRASS DISK "LS 4068" IN STANDARD M10 WELL MONUMENT LOCATED AT THE INTERSECTION OF SOUTH CLEVELAND ST. AND SEAGAZE DR., AS SHOWN ON ROS 21787 AS POINT NO. 1005.

ELEVATION: 49.79 (NAVD 88)

EARTHWORK / PROJECT GRADING TABULATIONS

CUT QUANTITY:	10 CY	MAX CUT HEIGHT:	0.6 FT
FILL QUANTITY:	40 CY	MAX FILL HEIGHT:	0.8 FT
IMPORT/EXPORT:	30 CY	OVER-EXCAVATION	
		AND RE-COMPACTION:	0.0 CY

REMEDIAL: 0 CY

ESTIMATE DOES NOT INCLUDE STRIPPING OR UTILITY TRENCH VOLUMES. IF REQUIRED BY SITE CONDITIONS, CONTRACTOR SHALL SATISFY SELF THAT ESTIMATES ARE CORRECT PRIOR TO COMMENCEMENT OF WORK. EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY. (CALCULATED ON A THEORETICAL BASIS. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE OR SWELL FACTORS). DEPTH & QUANTITY OF REMEDIAL GRADING IS SUBJECT TO FIELD VERIFICATION BY PROJECT SOILS ENGINEER IN FIELD DURING EXCAVATION.

DISTURBED AREA CALCULATIONS

TOTAL PROPERTY AREA:	5,009 SF
TOTAL DISTURBED AREA:	5,009 SF

IMPERVIOUS AREA CALCULATIONS

TOTAL PROPERTY AREA:	5,009 SF
EXISTING IMPERVIOUS AREA:	1,126 SF
PROPOSED IMPERVIOUS AREA: (TOTAL)	4,306 SF
NEW:	4,306 SF
REPLACED:	1,126 SF
PROPOSED PERVIOUS AREA:	703 SF

ENGINEER OF WORK

PRELIMINARY
BRYAN A. KNAPP, PE #86542

DATE:

PREPARED BY:

PASCO LARET SUITER
& ASSOCIATES

San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com



LEGEND

PROPERTY BOUNDARY	---
CENTERLINE OF ROAD	---
ADJACENT PROPERTY LINE	---
PUBLIC RIGHT-OF-WAY	---
SETBACK LINE	---
EXISTING CONTOUR LINE	---
PROPOSED CONTOUR LINE	---
PROPOSED DIRECTION OF FLOW	→
PROPOSED PCC CURB & GUTTER	SDRS G-2
PROPOSED PCC DRIVEWAY (WIDTH PER PLAN)	
PROPOSED STEM WALL	
PROPOSED ARCH WALL	
PROPOSED PCC PAVEMENT	
PROPOSED 2" AC GRIND AND OVERLAY	
PROPOSED TRENCH & AC RESTORATION	
PROPOSED SAWCUT OF AC PAVEMENT	
PROPOSED 1" DOMESTIC WATER SERVICE, METER AND BACKFLOW	OSD W-4, W-12
PROPOSED 1" IRRIGATION WATER SERVICE, METER AND BACKFLOW	OSD W-4, W-12
PROPOSED 4" FIRE SERVICE WITH DDCVA & U.L. LISTED 2-WAY FDC	OSD W-14
PROPOSED 4" PVC SEWER LATERAL W/ 4" CLEANOUT AND 12" CAST IRON LID	OSD S-4 & SDRSD SC-01
PROPOSED PRIVACY FENCE	X X
EXISTING WALL	---
EXISTING FENCE	X X
EXISTING WATER MAIN (SIZE PER PLAN)	W W
EXISTING SEWER MAIN (SIZE PER PLAN)	S S
EXISTING GAS MAIN (SIZE PER PLAN)	G G
EXISTING OVERHEAD UTILITIES	OE OE
EXISTING SURVEY MONUMENT	●

CONSTRUCTION NOTES

- EXISTING SURVEY MONUMENT TO BE PROTECTED IN PLACE; SEE MONUMENT NOTE THIS SHEET
- PROPOSED 6" PCC CURB & GUTTER W/ CLASS II BASE PER SDRSD G-2
- PROPOSED 3" WIDE PCC RIBBON GUTTER PER DETAIL SHEET 3
- PROPOSED PCC DRIVEWAY
- PROPOSED SAWCUT OF EXISTING AC PAVEMENT PER DETAIL SHEET 3
- PROPOSED FULL-DEPTH PAVEMENT IMPROVEMENTS:
S. MYERS STREET: 3" AC OVER 6" CLASS II AB MINIMUM OR PER GEOTECH RECOMMENDATION;
ALLEY: 4" AC OVER 6" CLASS II AB MINIMUM OR PER GEOTECH RECOMMENDATION;
**SEE PAVEMENT EVALUATION NOTE SHEET 3
- PROPOSED TRENCH RESURFACING PER OSD M-3A, M-3C
- PROPOSED NON-CONTIGUOUS PCC SIDEWALK PER SDRSD G-7; MATCH TO EXIST. IMPR.
- PROPOSED 1" IRRIGATION WATER SERVICE, 1" METER, AND 1" BACKFLOW PER OSD W-4, W-12
- PROPOSED 1" DOMESTIC WATER SERVICE, 1" METER, AND 1" BACKFLOW PER OSD W-4, W-12
- PROPOSED 4" FIRE SERVICE WITH DDCVA & U.L. LISTED 2-WAY FDC
- PROPOSED 4" PVC SEWER LATERAL PER OSD S-3
- PROPOSED 4" SEWER CLEANOUT WITH 12" CAST IRON LID OSD S-3 & SDRSD SC-01
- PROPOSED STEM WALL PER ARCHITECTURE PLANS
- PROPOSED FENCE PER ARCHITECTURE PLANS (TYP.)
- PROPOSED LIMITS OF ROOF OVERHANG / PROJECTION ABOVE (TYP.)
- PROPOSED 3421 TRANSFORMER PAD PER SDG&E WORK ORDER #

PROPOSED EASEMENTS

- PROPOSED VEHICLE ACCESS EASEMENT GRANTED BY LOT 4 OF BLOCK 13, MAP 218 F.B.O. LOT 5 OF BLOCK 13, MAP 218

CIP SEWER NOTE:

EXISTING SEWER FACILITIES WITHIN ALLEY PROPOSED TO BE UPSIZED TO 8" SEWER MAIN PER CITY OF OCEANSIDE CIP PROJECT AND STANDARDS. APPLICANT TO PERFORM WORK IN EVENT CITY PROJECT HAS NOT OCCURRED AT THE TIME OF CONSTRUCTION. APPLICANT TO ENTER INTO REIMBURSEMENT AGREEMENT WITH CITY UNDER THIS CIRCUMSTANCE.

SITE NOTES

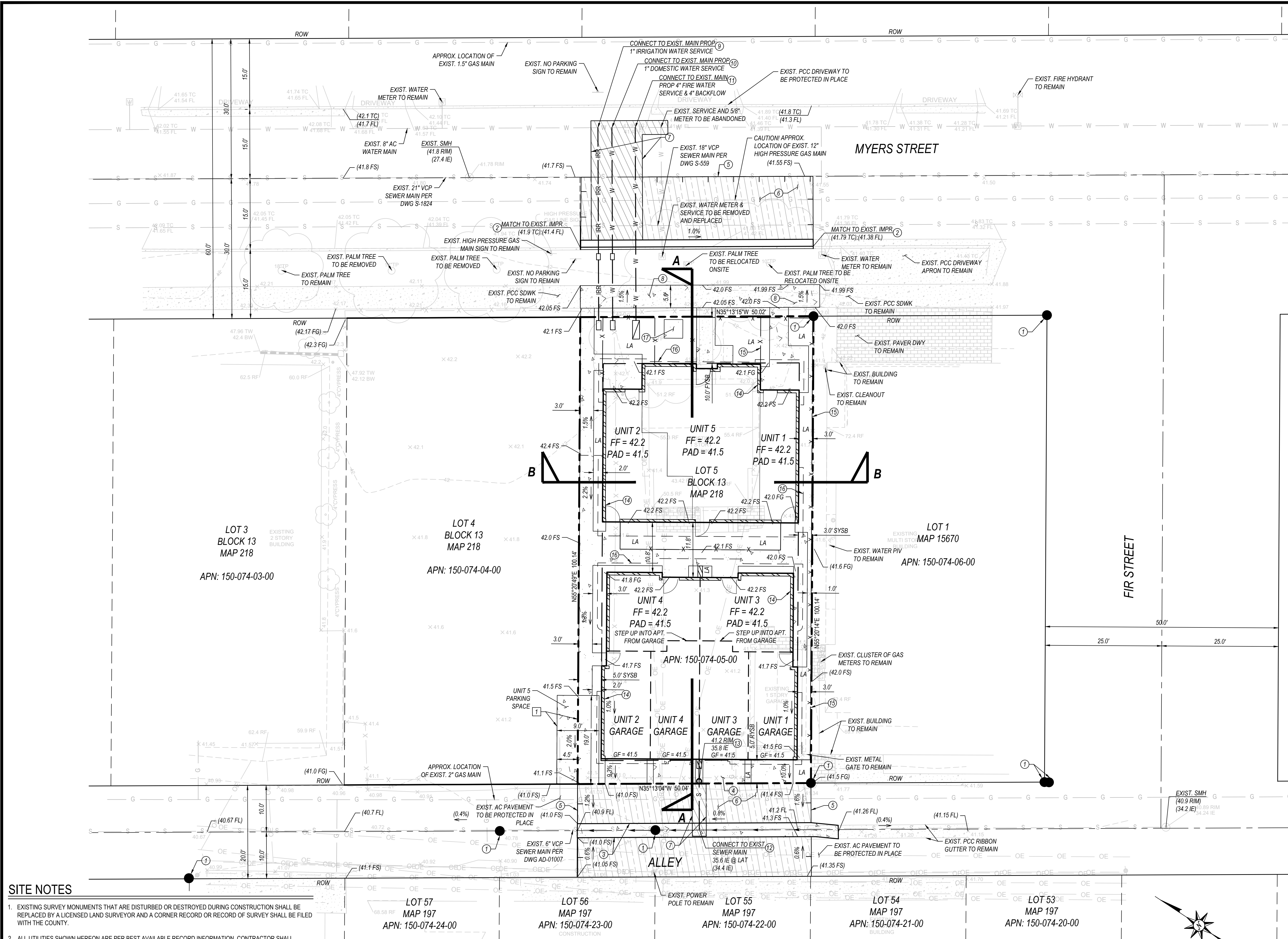
- EXISTING SURVEY MONUMENTS THAT ARE DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY.
- ALL UTILITIES SHOWN HEREON ARE PER BEST AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL POTHOLE TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY EXISTING UTILITIES OR STRUCTURES LOCATED AT WORK SITE. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD UPON DISCOVERY OF ANY DISCREPANCIES.
- ALL STREET SIGNS, LIGHTS, LAMPS, UTILITIES, ETC. LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED IN-PLACE DURING CONSTRUCTION OR REPLACED TO THE SATISFACTION OF THE CITY OF OCEANSIDE.
- EXISTING WATER SERVICE AND METER SERVING SUBJECT PROPERTY TO BE ABANDONED PER THE CITY OF OCEANSIDE STANDARDS AND STANDARD DRAWING (OSD) W-06

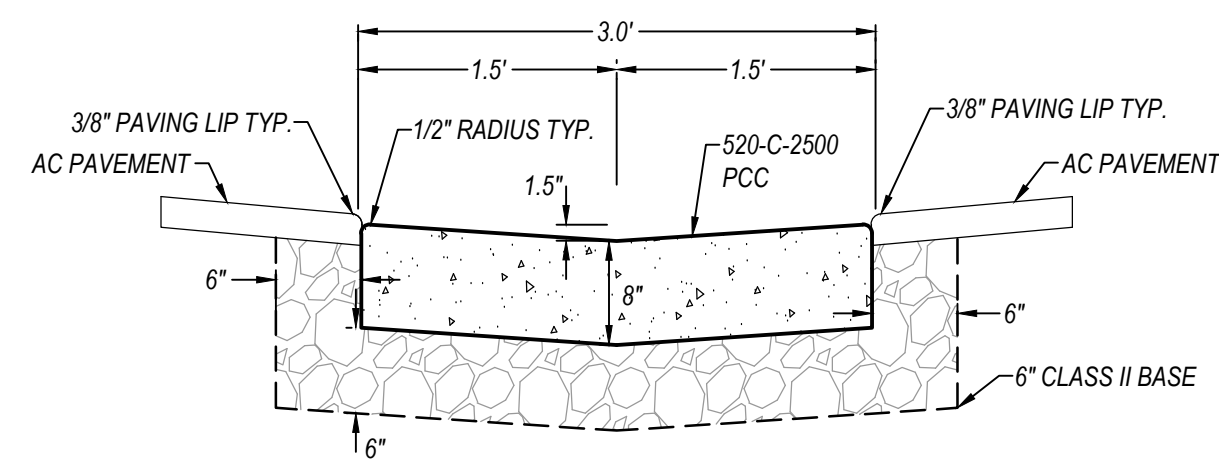
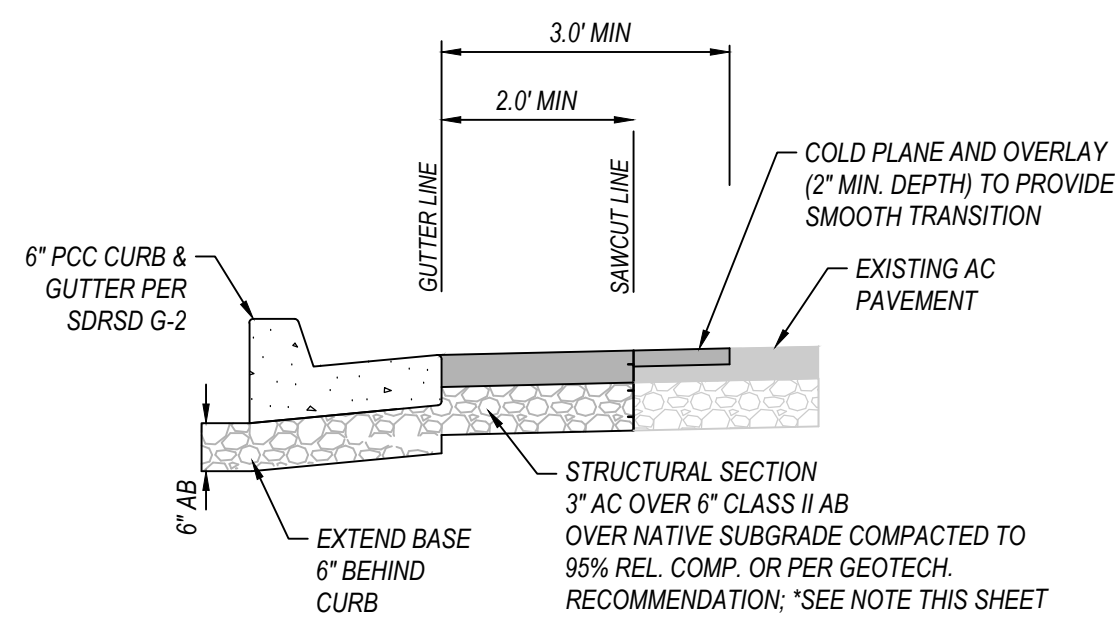
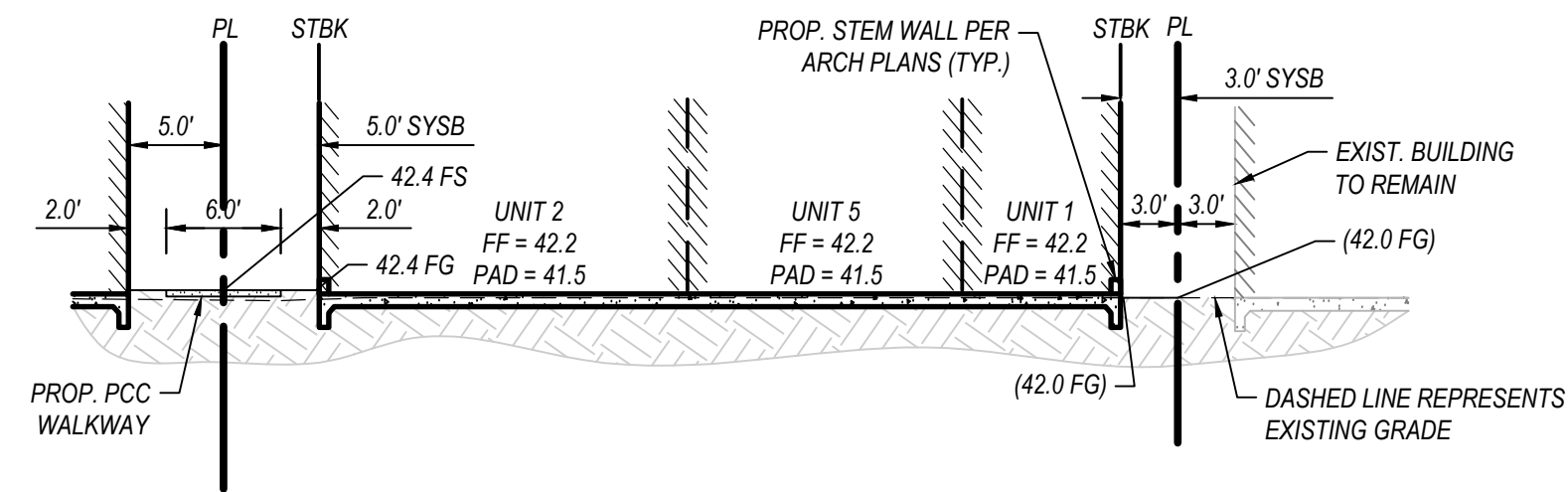
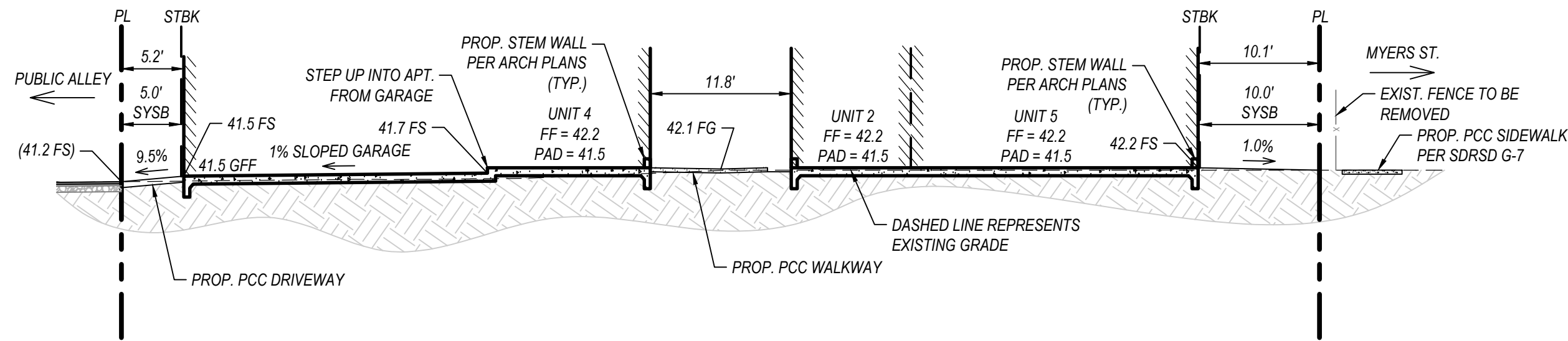
SURVEY MONUMENT NOTE:

ALL EXISTING SURVEY MONUMENTS TO BE PROTECTED IN PLACE TO THE GREATEST EXTENT FEASIBLE. ANY MONUMENTS DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE FILED WITH THE COUNTY.

PLAN VIEW - PRELIMINARY GRADING PLAN

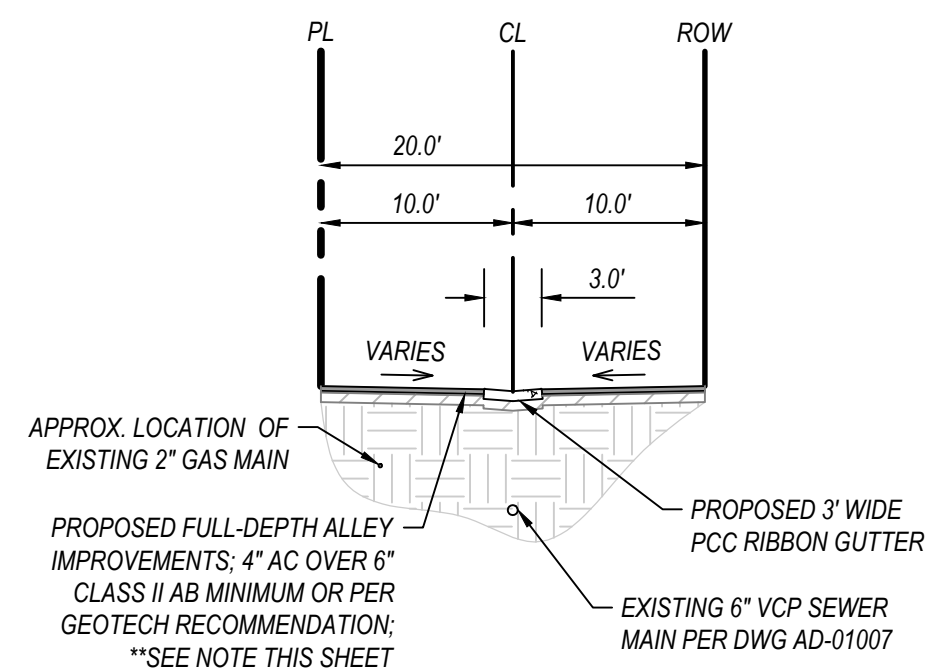
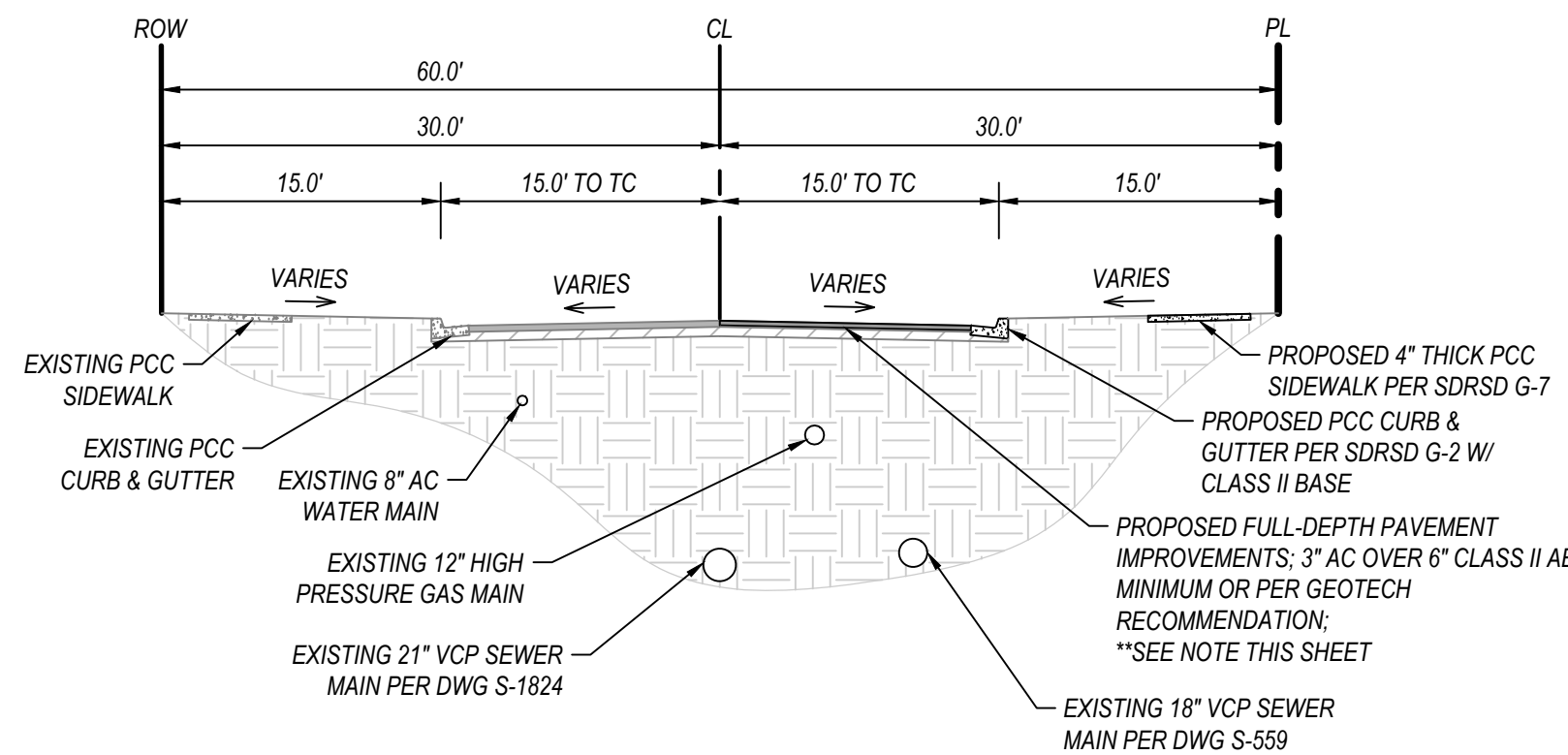
SCALE: 1" = 10' HORIZONTAL

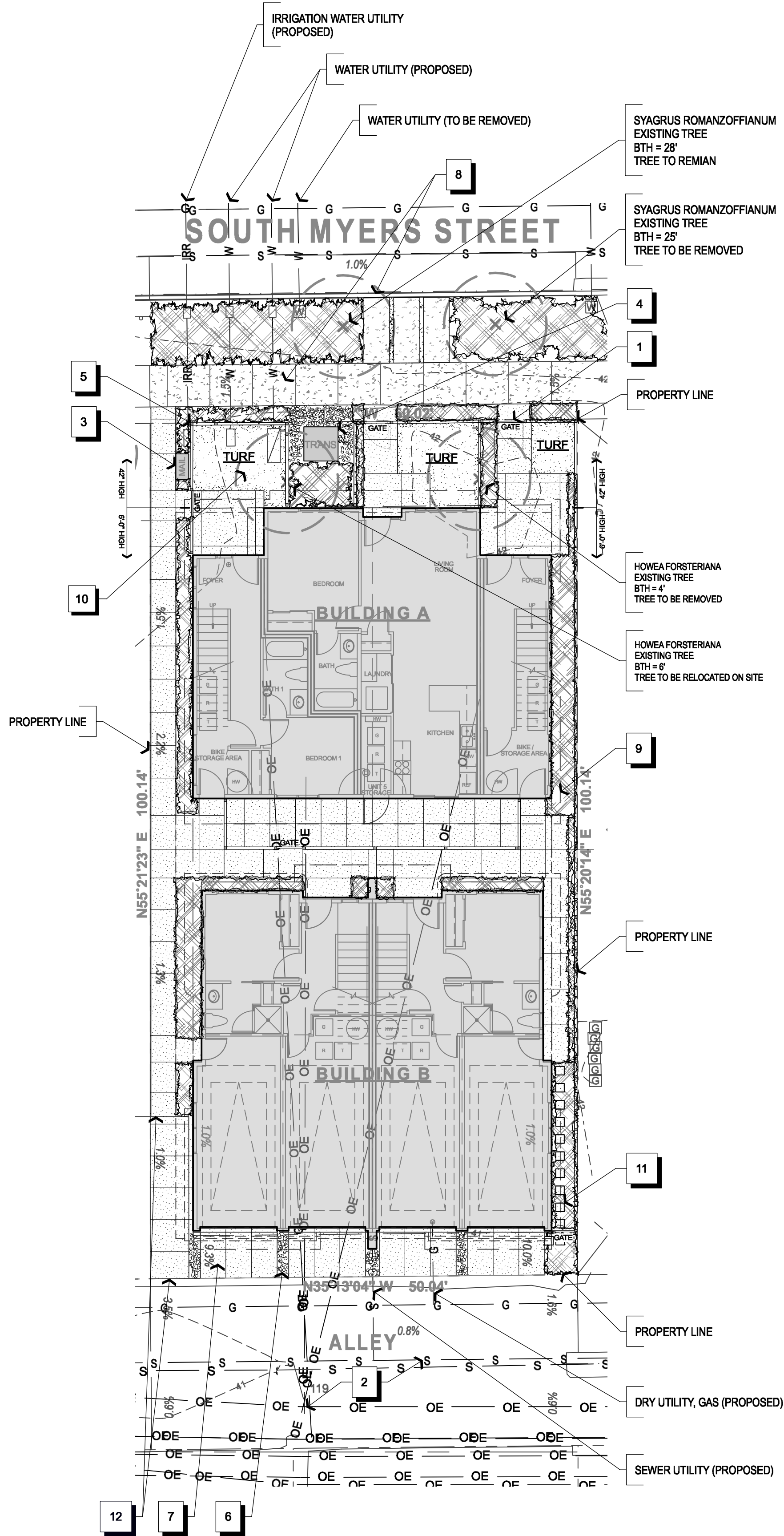




***PAVEMENT NOTE:**
ACTUAL PAVEMENT OR CONCRETE STRUCTURAL SECTION(S) TO BE CONFIRMED IN FIELD BY GEOTECHNICAL ENGINEER BASED ON OBSERVED "R"-VALUES / TESTING.

****PAVEMENT EVALUATION NOTE:**
FULL-DEPTH PAVEMENT REPLACEMENT PROPOSED FOR FULL-WIDTH OF ALLEY AND HALF-WIDTH OF S. MYERS STREET ALONG PROJECT FRONTAGE WITHIN LIMITS OF WORK IN ACCORDANCE WITH CITY OF OCEANSIDE STANDARDS AND TO THE SATISFACTION OF CITY ENGINEER. GEOTECHNICAL ENGINEER TO CORE AND PERFORM FIELD INVESTIGATION OF EXISTING PAVEMENT WITHIN PUBLIC ALLEY AND S. MYERS STREET PRIOR TO GRADING PERMIT ISSUANCE. SHOULD PAVEMENT EVALUATION YIELD EXISTING PAVEMENT SECTIONS MEET CURRENT CITY OF OCEANSIDE STANDARDS, PAVEMENT WORK SHALL BE LIMITED TO 2-INCH GRIND AND OVERLAY WITHIN LIMITS OF WORK AS SHOWN.

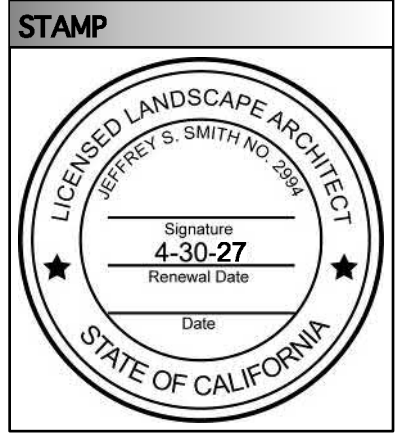




LEGEND / KEY NOTES

PLAN SYMBOL	DESCRIPTION / DETAIL REFERENCE
1	36" X 42" GATE, MATERIAL TO BE VINYL, TYPICAL (PROPOSED)
2	ALLEY ACCESS ROAD (EXISTING)
3	MAIL BOX CLUSTERS (PROPOSED)
4	ELECTRICAL TRANSFORMER BOX (PROPOSED)
5	6'-0" AND 42" HIGH VINYL PRIVACY FENCING (PROPOSED)
6	3'-5" DIAMETER BEACH ROCK GROUND COVER (PROPOSED)
7	INTEGRAL COLORED CONCRETE WITH MEDIUM BROOM FINISH (PROPOSED)
8	SIDEWALK, CURB, AND GUTTER PER CITY OF OCEANSIDE'S STANDARD DRAWINGS. COLOR TO BE NATURAL GRAY AND FINISH TO BE MEDIUM BROOM. (PER CIVIL DRAWINGS)
9	PLANTED AREA (PROPOSED)
10	SYNTHETIC TURF (PROPOSED)
11	PRECAST CONCRETE STEPPING STONES
12	LIMITS OF SINGLE PARKING STALL FOR UNIT #5

PROGRESS SUBMITTAL
NOT FOR CONSTRUCTION



PROJECT
217 S. MYERS BEACH HOMES
217 S. MYERS STREET
OCEANSIDE, CALIFORNIA 92054

DATE:	10-21-24
SCALE:	SEE DRAWINGS
DRAWN BY:	JSS
CHECKED BY:	JSS

ISSUED FOR	DATE
PRELIMINARY PLAN SUBMITTAL 2ND PASS	3/13/25
PRELIMINARY PLAN SUBMITTAL 3RD PASS	5/14/25
PRELIMINARY PLAN SUBMITTAL 4TH PASS	6/24/25
PRELIMINARY PLAN SUBMITTAL 5TH PASS	10/24/25

REVISIONS	DATE
1	
2	
3	
4	

SHEET TITLE
**PRELIMINARY
LANDSCAPE
PLAN**

PROJECT NO.: 24-006

SHEET: **L-1**
OF 3 SHEETS

GENERAL NOTES:

1. FINAL LANDSCAPE PLANS SHALL ACCURATELY SHOW PLACEMENT OF TREES, SHRUBS, AND GROUNDCOVERS.
2. LANDSCAPE ARCHITECT SHALL VERIFY UTILITY, SEWER, STORM DRAIN EASEMENT AND PLACE PLANTING LOCATIONS ACCORDINGLY TO MEET CITY OF OCEANSIDE REQUIREMENTS.
3. ALL REQUIRED LANDSCAPE AREAS (INCLUDING PUBLIC RIGHT-OF-WAY ALONG OCEANSIDE BLVD.) SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREA SHALL BE MAINTAINED PER THE CITY OF OCEANSIDE REQUIREMENTS.
4. ALL STREET TREES SHALL COMPLY WITH THE CITY OF OCEANSIDE APPROVED STREET TREES AND STANDARD DETAIL 211A.
5. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVED SURFACES WHERE PAVING SURFACE IS LOCATED WITHIN 6 FEET OF A TREE TRUNK ON SITE (PRIVATE) AND WITHIN 10 FEET OF TREE TRUNK IN THE RIGHT-OF-WAY (PUBLIC). ROOT BARRIERS SHALL EXTEND 5 FEET IN EACH DIRECTION FROM THE CENTERLINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 10 FEET. ROOT BARRIERS SHALL BE 24 INCHES IN DEPTH. INSTALLING A ROOT BARRIER AROUND THE TREE'S ROOT BALL IS UNACCEPTABLE.

IRRIGATION NOTE:

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO PROVIDE COVERAGE FOR ALL PLANTING AREAS SHOWN ON THE PLAN. LOW VOLUME EQUIPMENT SHALL PROVIDE SUFFICIENT WATER FOR PLANT GROWTH WITH A MINIMUM WATER LOSS DUE TO WATER RUN-OFF. IRRIGATION SYSTEMS SHALL USE HIGH QUALITY, AUTOMATIC CONTROL VALVES, CONTROLLERS AND OTHER NECESSARY IRRIGATION EQUIPMENT. ALL COMPONENTS SHALL BE OF NON-CORROSIVE MATERIAL. ALL DRIP SYSTEMS SHALL BE ADEQUATELY FILTERED AND REGULATED PER THE MANUFACTURER'S RECOMMENDED DESIGN PARAMETERS. ALL IRRIGATION IMPROVEMENTS SHALL FOLLOW THE CITY OF OCEANSIDE GUIDELINES AND WATER CONSERVATION ORDINANCE.

PLANTING NOTE:

THE SELECTION OF PLANT MATERIAL IS BASED ON CULTURAL, AESTHETIC, AND MAINTENANCE CONSIDERATIONS. ALL PLANTING AREAS SHALL BE PREPARED WITH APPROPRIATE SOIL AMENDMENTS, FERTILIZERS, AND APPROPRIATE SUPPLEMENTS BASED UPON A SOILS REPORT FROM AN AGRICULTURAL SUITABILITY SOIL SAMPLE TAKEN FROM THE SITE. GROUND COVERS OR BARK MULCH SHALL FILL IN BETWEEN THE SHRUBS TO SHIELD THE SOIL FROM THE SUN, EVAPOTRANSPIRATION AND RUN-OFF. ALL THE FLOWER AND SHRUB BEDS SHALL BE MULCHED TO A DEPTH OF 3" TO HELP CONSERVE WATER. LOWER THE SOIL TEMPERATURE AND REDUCE WEED GROWTH. THE SHRUBS SHALL BE ALLOWED TO GROW IN THEIR NATURAL FORMS. ALL LANDSCAPE IMPROVEMENTS SHALL FOLLOW THE CITY OF OCEANSIDE GUIDELINES.

FIRE NOTES:

1. LANDSCAPE IMPROVEMENT PLAN SET AND INSTALLATION ARE REQUIRED TO IMPLEMENT APPROVED FIRE DEPARTMENT REGULATIONS, CODES, AND STANDARDS AT THE TIME OF THE PROJECT APPROVAL.
2. ALL FIRE HYDRANTS, DOUBLE CHECK DETECTORS, POST INDICATING VALVES AND FIRE DEPARTMENT CONNECTIONS SHALL BE PROVIDED WITH A 3-FOOT CLEARANCE AROUND ALL FIRE APPARATUSSES.
3. ALL TREES AT MATURITY SHALL MEET A HORIZONTAL CLEARANCE ALONG ALL ROADWAYS FROM CURB TO CURB. HORIZONTAL ROADWAY CLEARANCE FOR A ONE-STORY BUILDING IS 28-FEET WIDE.
4. ALL TREES AT MATURITY SHALL MEET A VERTICAL CLEARANCE OF 14-FEET FROM THE TOP OF THE ROADWAY TO THE LOWEST BRANCHES.

DRAINAGE NOTE:

ALL DRAINAGE AREAS SHALL BE SHOWN ON THE CIVIL ENGINEER'S PLAN AND REFLECTED ON THE APPROVED LANDSCAPE PLAN.

GENERAL MAINTENANCE AND COMPLIANCE WITH URBAN FORESTRY REQUIREMENTS ORDINANCE CODE 3049

THE PRIVATE PROPERTY OWNER SHALL MAINTAIN ALL PRIVATE LANDSCAPE AREAS, PROPOSED BMPs, AND ANY LANDSCAPE IMPROVEMENTS THAT FALL WITHIN THE PUBLIC RIGHT OF WAY. THIS PROJECT WILL COMPLY WITH ORDINANCE CODE 3049, THE URBAN FORESTRY PROGRAM. THE GENERAL MAINTENANCE PROGRAM WILL CONSIST OF REGULAR, SEASONAL, AND EMERGENCY MAINTENANCE, TRASH AND WEED ABATEMENT, IRRIGATION SYSTEM REPAIRS, TREE GENERAL PLANT CARE, TREE REPLACEMENT, AND PEST AND PLANT DISEASE MANAGEMENT. FAILURE TO COMPLY WITH THIS MAINTENANCE PROGRAM AND THE APPROVED LANDSCAPE TREE MANAGEMENT PLAN IN A CONSISTENT MANNER SHALL SUBJECT THE PROJECT TO CODE ENFORCEMENT ACTION BY THE CITY OF OCEANSIDE.

TREE PROTECT IN PLACE STATEMENT:

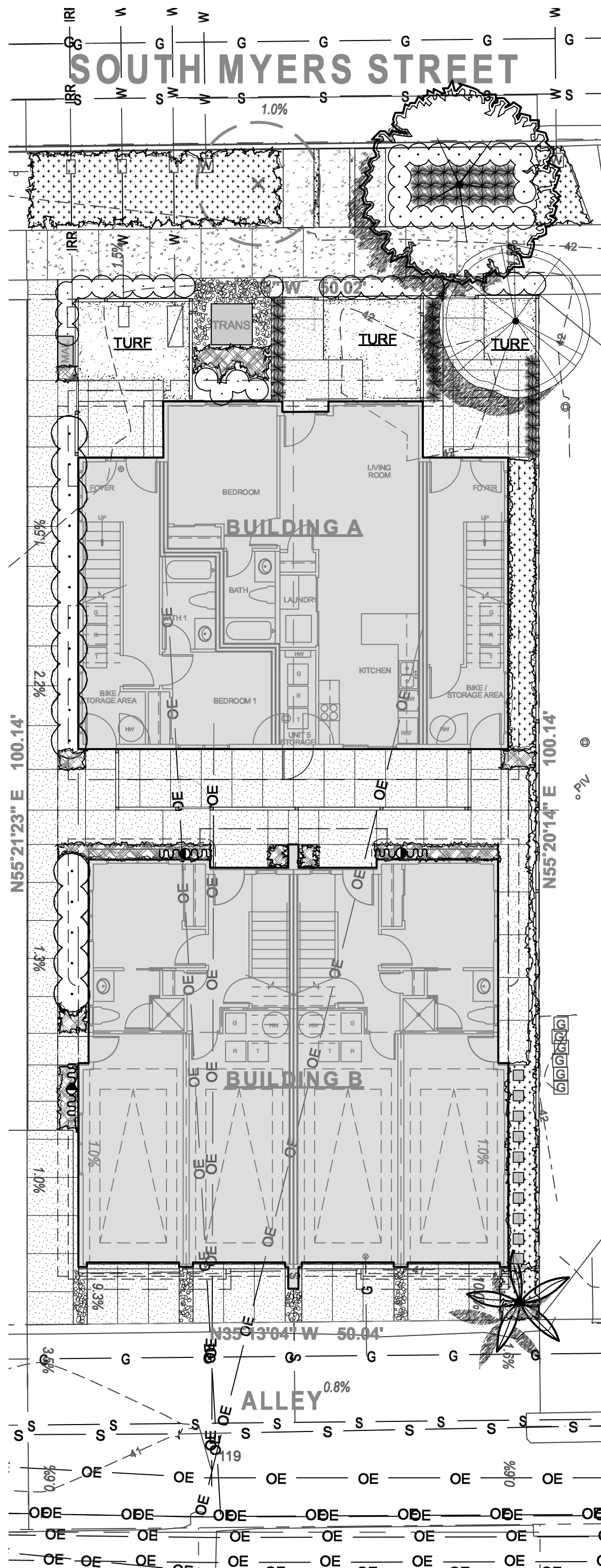
NO MECHANICAL GRADING OPERATIONS ARE TO TAKE PLACE TO CAUSE A CHANGE IN GRADE OR ELEVATION AROUND THE BASE OF THE TREES OR WITHIN THE DEFINED LIMITS OF THE TREES DRIP RING. NO MECHANICAL EQUIPMENT OR TRENCHING ARE TO TAKE PLACE WITHIN THE LIMITS OF THE TREES DRIP RING IN ORDER TO NOT DISTURB THE ROOT SYSTEM. NO EXCESSIVE PRUNING OF THE TREE BRANCHES IS TO TAKE PLACE TO WHERE IT WOULD CAUSE HARM TO THE TREE OR IMPACT THE OVERALL APPEARANCE OF THE TREE. PROVIDE A PHYSICAL BARRIER AROUND THE DRIP LINE OF THE TREE TO ELIMINATE INJURY TO THE TREE TRUNK AND COMPACTION OF THE SOIL. IN THE CASE OF ANY OF THE EXISTING TREES ARE DAMAGED OR DESTROYED BY THE CONSTRUCTION ACTIVITIES, THE OWNER SHALL REPLACE THE TREE IN KIND AND OF THE SAME SIZE TREE CALIPER AS IS REASONABLE FOR THE LOCATION OF THE PREVIOUS TREE.

ADA STATEMENT:

ALL PEDESTRIAN PAVING BOTH DECORATIVE AND STANDARD SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE AMERICAN DISABILITY ACT.

STREET TREES AND OTHER TREES SHALL BE SPACED

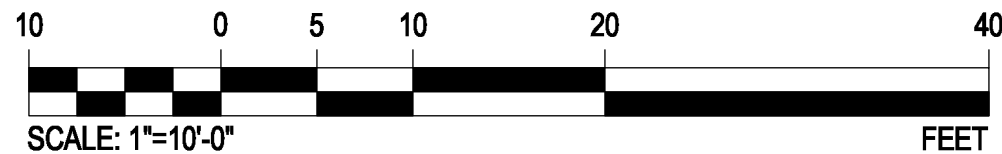
1. 8 FEET (PREVIOUSLY 3 FEET) FROM TRANSFORMERS, CABLE, AND PULL BOXES
2. 5 FEET FROM MAILBOXES
3. 5 FEET FROM FIRE HYDRANTS (ALL SIDES)
4. 10 FEET FROM CENTERLINE (PREVIOUSLY 7 FEET) OF ALL UTILITY LINES (WITHOUT EASEMENT) (SEWER, WATER, STORM DRAINS, DOUBLE CHECK DETECTORS, AIR RELIEF VALVES AND GAS)
5. 10 FEET FROM EASEMENT BOUNDARIES (SEWER, WATER, STORM DRAINS, ACCESS OR OTHER UTILITIES)
6. 10 FEET FROM DRIVEWAYS (UNLESS A LINE OF SIGHT IS DETERMINED BY THE TRAFFIC DIVISION TO BE OTHERWISE)
7. 10 FEET FROM TRAFFIC AND DIRECTIONAL SIGNS
8. 15 FEET (MINIMUM) FROM STREET LIGHTS, OTHER UTILITY POLES (DETERMINED BY SPECIFICATIONS)
9. STREET TREES SHALL BE PLANTED 3' OUTSIDE RIGHT-OF-WAY IF THE RIGHT-OF-WAY DOES NOT ALLOW SPACE, SUBJECT TO THE CITY ENGINEERS APPROVAL
10. LINE OF SIGHT AT ARTERIALS, COLLECTOR AND LOCAL STREETS SHALL BE REVIEWED AND DETERMINED BY TRAFFIC ENGINEER. A MINIMUM OF TWENTY-FIVE FEET (25') FROM STREET INTERSECTIONS OR AS APPROVED BY THE TRAFFIC ENGINEER.
11. MINIMUM FIFTEEN FEET (15') STREETLIGHT AND STOP SIGN OR CLARENCE DETERMINED BY SPECIFICATIONS.
12. SCREEN ALL UTILITIES ACCORDING TO SPECIFIC AGENCY REQUIREMENTS.



PROPOSED PLANTING PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
TREES			
	HOWEA FORSTERIANA	KENTIA PALM	CURRENTLY ON SITE, TO BE RELOCATED
	CASSIA LEPTOPHYLLA	GOLD MEDALLION TREE	36" BOX
	MICHELIA DOLTSOPA	SWEET MICHELIA	24" BOX
	SYAGRUS ROMANZOFFIANUM	QUEEN PALM	EXISTING TREE
SHRUBS - Low Level Accent			
	ZAMIA FURFURACEA	CARDBOARD PALM	15 GAL.
	MYRTUS COMMUNIS 'COMPACTA VERIGATA'	DWARF VARIGATED MYRTLE	5 GAL.
	BOUGAINVILLEA OO-LA-LA	BOUGAINVILLEA MONKA	5 GAL.
	JASMINUM ANGULARE	SOUTH AFRICAN JASMINE	5 GAL.
	PITTOSPORUM CRASSIFOLIUM 'COMPACTUM'	NO COMMON NAME	5 GAL.
	LANTANA SP.	LANTANA	5 GAL.
	MYRSINE AFRICANA	AFRICAN BOXWOOD	5 GAL.
	TECOMA 'RED HOT'	RED HOT TRUMPET BUSH	5 GAL.
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	5 GAL.
	ASPARAGUS DENSIFLORUS 'MYERS'	FOXTAIL FERN	1 GAL.
	NANDINA DOMESTICA 'HARBOR DWARF'	DWARF HEAVENLY BAMBOOQ	5 GAL.
	NANDINA DOMESTICA 'GULIF STREAM'	HEAVENLY BAMBOO	5 GAL.
	PHILODENDRON XANADU	WINTERBOURN PHILODENDRON	5 GAL.
	TIBOUCHINA HETEROMALLA	SILVER LEAFED PRINCESS FLOWER	5 GAL.
	MICHELIA FIGO	BANANA SHRUB	5 GAL.
	HAMELIA PATENS 'SIERRA RED'	FIRECRACKER BUSH	5 GAL.
	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	5 GAL.
	MAHOMIA REPENS	CREeping MAHONIA	1 GAL.
FLOWERING PERENNIALS			
	LIMONIUM PEREZII	STATICE	1 GAL.
	CLIVIA MINIATA	KAFIR LILY	1 GAL.
	RUELLIA BRITTONIANA 'KATIE'	DWARF RUELLIA	1 GAL.
	TRADESCANTIA PALLIDA	PURPLE HEART	1 GAL.
	HEMEROCALLIS SPP.	DAYLILY	1 GAL.
	ANIGOZANTHOS 'RED CROSS'	RED KANGAROO PAW	1 GAL.
	KNIPHOFIA SP.	HOT POKER PLANT	5 GAL.
	LOBELIA LAXIFLORA	ORANGE TORO BELLS	1 GAL.
	ERIGERON KARVINSKIANUS	SANTA BARBARA DAISY	1 GAL.
GRASSES & GRASS LIKE - Large and Small Scale			
	DIANELLA TASMANICA VARIEGATA'	FLAX LILY	1 GAL.
	LOMANDRA LONGIFOLIA 'NYALLA	NYALLA MAT RUSH	1 GAL.
	LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH	1 GAL.
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL.
	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL.
VINES & ESPALIERS			
	MAGNOLIA GRNDIFLORA 'LITTLE GEM'	LITTLE GEM MAGNOLIA	15 GAL.
	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	5 GAL.
CACTUS & SUCCULENTS			
	AEONIUM SPP.	NO COMMON NAME	1 GAL.
	ALOE SPP.	NO COMMON NAME	1 GAL.
	COTYLEDON SP.	NO COMMON NAME	1 GAL.
	SENECIO VITALIS	BUSH BLUE PICKLE	1 GAL.
	PEDILATHUS MACROCARPUS	DESERT PENCIL BUSH	5 GAL.
	BULBINE FRUTESCENS 'TINY TANGERINE'	TANGERINE STALKED BULBINE	1 GAL.
	CRASSULA MULTICAIA	RED CARPET JADE	1 GAL.
	ECHERERIA SPP.	NO COMMON NAME	1 GAL.
	PORTULACARIA AFRA MINIMA	EMERALD ELEPHANT CARPET	5 GAL.
GROUND COVERS			
	DYMONDIA MARGARETAE	DYMONDIA	FROM FLATS
	KURAPIA	KURAPIA	2" PLUGS'
	HILLSIDE FINE FESCUE	ORNAMENTAL TURF	SOD

PROGRESS SUBMITTAL
NOT FOR CONSTRUCTION



PROJECT
217 S. MYERS BEACH HOMES
217 S. MYERS STREET
OCEANSIDE, CALIFORNIA 92054

DATE: 10-21-24
SCALE: SEE DRAWINGS
DRAWN BY: JSS
CHECKED BY: JSS

ISSUED FOR	DATE
PRELIMINARY PLAN SUBMITTAL 2ND PASS	3/13/25
PRELIMINARY PLAN SUBMITTAL 3RD PASS	5/14/25
PRELIMINARY PLAN SUBMITTAL 4TH PASS	6/24/25
PRELIMINARY PLAN SUBMITTAL 5TH PASS	10/24/25

REVISIONS	DATE
1	
2	
3	
4	

SHEET TITLE
PRELIMINARY
PLANTING
PLAN

PROJECT NO.: 24-006

SHEET: L-2

OF 3 SHEETS

10/24/25 2025-10-24_217 S. Myers Homes_SD/DD_V2024.vmx

URBAN FORESTRY PROGRAM COMPLIANCE CALCULATIONS
PER OCEANSIDE ZONING CODE #3049

DESCRIPTION	CANOPY DIA. (FT)	CANOPY (SF)	TREE QUANTITY	EXTENSION (SF.)
TREES IN PUBLIC RIGHT OF WAY (CANOPY)	25'0"	491	1	491
TREES IN PUBLIC RIGHT OF WAY (PALMS)	25'0"	123 = 25% OF ACTUAL	1	123
TREES WITHIN PROPERTY LIMITS (PALMS)	10'0"	20 = 25% OF ACTUAL	1	20
TREES WITHIN PROPERTY LIMITS (CANOPY)	20'0"	314	1	314
TOTAL SQUARE FOOTAGE OF PROPOSED TREE CANOPY AREA				825
PROPOSED CANOPY AREA PERCENTAGE OF PROJECT SITE AREA (.12 ACS) 5,042 SF				16.8%

NOTE:
INFORMATION FOR MATURE TREE CANOPY SIZES PER SPECIFIC TREE SPECIES WAS OBTAINED FROM THE UFEI SELECT TREE WEBSITE FROM CALIFORNIA POLYTECHNIC STATE UNIVERSITY. [HTTPS://SELECTTREE.CALPOLY.EDU](https://selecttree.calpoly.edu)

PERMEABLE SURFACE AREA

DESCRIPTION	LANDSCAPE AREA (SF.)
PRIVATE LANDSCAPE AREA (ORGANIC AND INORGANIC MATERIALS)	687
TOTAL PERMEABLE SURFACE AREA	687
PROJECT SITE AREA (.12 AC) 5,042 S.F.	5,042
PERMEABLE SURFACE AREA PERCENTAGE	13.60%

TREE MITIGATION CALCULATION

EXISTING TREES INCLUDED IN THIS CALCULATION MEET THE MINIMUM SIZE STANDARD OF 8" DBH

TREE TYPE	NUMBER OF TREES	TOTAL BTH AND DBH (INCHES)
EXISTING TREES		
CANOPY TREES	0	0
PALM TREES	2	6"
TOTAL	2	6"
PROPOSED REPLACEMENT TREES		
CANOPY TREES (36" BOX)	1	3"
CANOPY TREE (24" BOX)	1	2"
PALM TREES	1 (EXISTING TO BE RELOCATED)	1"
TOTAL	3	6"
SURPLUS OR DEFICIT TOTAL		EVEN

CONVERSION FACTOR USED FOR THIS CHART: 5" BTH = 1" DBH

MINIMUM TREE CANOPY AND PERMEABLE
SURFACE AREA REQUIREMENTS

PROJECT SITE AREA	MINIMUM TREE CANOPY AREA	MINIMUM PERMEABLE SURFACE AREA
ONE ACRE OR MORE	12%	22%
1/3 ACRE TO 1 ACRE	9%	16%
LESS THAN 1/3 ACRE	7%	10%



DATE:	10-21-24
SCALE:	SEE DRAWINGS
DRAWN BY:	JSS
CHECKED BY:	JSS

ISSUED FOR	DATE
PRELIMINARY PLAN SUBMITTAL 2ND PASS	3/13/25
PRELIMINARY PLAN SUBMITTAL 3RD PASS	5/14/25
PRELIMINARY PLAN SUBMITTAL 4TH PASS	6/24/25
PRELIMINARY PLAN SUBMITTAL 5TH PASS	10/24/25

REVISIONS	DATE
1	
2	
3	
4	

SHEET TITLE
LANDSCAPE CALCULATIONS

PROJECT NO.:	24-006
--------------	--------

SHEET:	L-3
OF	3 SHEETS

10/25/25
2025-10-24_217 S. Myers Homes_SD/DD_2024.vrx